

Last revised: August 2023

Carriage House Guide

What is a carriage house?

A carriage house is a separate, secondary living space that's located on the same property as a principal dwelling. To be considered as a carriage house, the space needs to have its own kitchen, bathroom and living space.

The carriage house may be purpose built, or a conversion or an addition to a pre-existing accessory building. Carriage houses cannot be sold separately from the principal dwelling or strata title.

Carriage houses must meet the City of Penticton's Development Permit Guidelines, Zoning regulations, Building Bylaw requirements, and the BC Building Code regulations.



Where are carriage houses permitted?

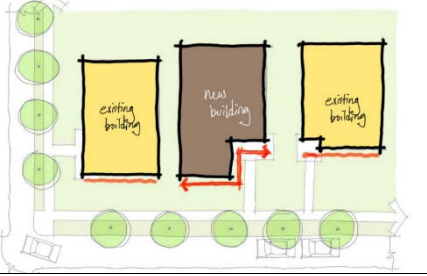
Urban Zones	Rural Zones*
R1 – Large Lot Residential	FG – Forestry and Grazing
R2 – Small Lot Residential	A – Agriculture
R3 – Small Lot Residential: Lane	RC – Country Residential
RD1 – Duplex Housing	
RD2 – Duplex Housing: Lane	* Properties located within the Agricultural Land Reserve (ALR) may have additional regulations.
RD3 – Residential Infill	

What is the carriage house approval process?

1. Development Permit Application
 - Planning Department Application
 - Process must be completed prior to the building permit application submittal.
 - To ensure the form and character of the carriage house meets the Intensive Residential Design Guidelines.
 - Application packages are found [online](#) or can be picked up at City Hall (171 Main Street).
2. Building Permit Application
 - Building Department Application
 - An application package may be found [online](#) or picked up at City Hall (171 Main Street).
 - The plans submitted for building permit should match the plans approved in the Development Permit, but with more details.
3. Other Important Information
 - Prior to the rental of a carriage house, a business license must be obtained from the City's Business License Department. Please contact businesslicences@penticton.ca or 250-490-2501.

Carriage House Zoning Bylaw Regulations (Section 8.2.3)		
.1	Minimum lot area :	370 m ² , regardless of zoning
.2	Maximum building footprint for <u>rural</u> zones:	150 m ² , or 15% of the lot area , whichever is less.
.3	Maximum building footprint for <u>urban</u> residential zones:	90 m ² , or 15% of the lot area , whichever is less.
.4	Maximum height for <u>rural</u> zones:	7.0 m and two storeys .
.5	Maximum height for <u>urban</u> residential zones:	.i Where a carriage house is accessed from a lane or is located on a double fronting lot , maximum height is 7.0 and two storeys. .ii Where no lane exists, the maximum height is 5.0 m and one storey .
.6	Setbacks	The setbacks for a carriage house shall meet the setback provisions for a principal dwelling for the zone in which the subject property is located, except the rear yard setback shall be 1.5 m in all zones .
.7	Siting in <u>rural</u> zones:	A carriage house may be located anywhere on the parcel, subject to setback requirements.
.8	Siting in <u>urban</u> residential zones:	A carriage house shall be located no closer to the front lot line than the principal dwelling .
.9	Minimum amenity space, outdoor	15 m ² shall be provided individually for both the principal dwelling and the carriage house .
.10	Overlook	A carriage house shall not include any decks , balconies , or roof top patios.
.11	Maximum Carriage House Floor Area for <u>rural</u> zones:	150 m ²
.12	Maximum Carriage House Floor Area for <u>urban</u> residential zones:	135 m ²
.13	Privacy	In the case of a carriage house having windows on a side yard within 1.5 m of another property, all windows on that building face must be opaque.
Parking:	At minimum, one on-site parking space is required for the carriage house in addition to those spaces required for the principal residence. At minimum, one Electric Vehicle (EV) ready charging space is required for a carriage house. Existing buildings being converted into a carriage house do not require EV ready charging.	

In addition to the Zoning Bylaw Regulations, carriage houses are expected to meet the intent of the Intensive Design Guidelines from the City's Official Community Plan. Property owners and designers should follow these guidelines, in addition to the General Guidelines, as much as possible when designing carriage houses:

Intensive Residential Guideline (IR1)	<p>Building siting</p> <ul style="list-style-type: none"> • Front and rear yard setbacks should relate to those of existing neighbouring buildings. • The primary building's front setback should be no greater than 6.0m so that homes engage with the street. 	
IR2	Intensive residential (infill) development should offer a diversity of housing to support objectives related to affordability and ageing in place.	
IR3	General Guidelines apply to accessory dwellings and buildings.	
IR4	<p>Scale – accessory buildings (garages, storage sheds, covered patios/decks, greenhouses) and accessory dwelling units (carriage houses) shall be modest in scale:</p> <ul style="list-style-type: none"> • Floor area and Coverage – Accessory dwellings and buildings shall be no more than 60% of the floor area of the principal building and no more than 15% coverage of the lot. • Height – detached covered accessory dwellings and structures must not exceed the height of the principle building. • Fit – accessory buildings and dwellings should follow considerations for site and neighbourhood character fit. • Frontages – buildings that face the lane or side street should address them in a positive way. This should include windows and doors facing the lane, planters, trellises and planted strips. • Style – exterior finish and trim should visually match the primary structure. • Roof pitch - should be the same as the predominant roof pitch of the primary structure. 	
IR5	<p>Designing in Context: Appropriate Locations:</p> <ul style="list-style-type: none"> • Carriage houses should only be built on sites serviced by lanes or on large lots where impact on neighbours is negligible. • Construction of carriage house or repurposing of existing buildings as carriage houses in SPEA (Streamside Protection and Enhancement Areas) and environmental protection areas is prohibited. 	
IR6	<p>Friendly Faces, Friendly Neighbours: managing height and size:</p> <ul style="list-style-type: none"> • Carriage homes shall not dominate the site. One-storey carriage houses (12-15ft) are encouraged to limit impact on neighbours. Where carriage houses are more than one storey tall the second floor is restricted to 60% of the footprint of the carriage house. 	
IR7	<p>Limiting Overlook:</p> <ul style="list-style-type: none"> • Upper floor balconies must overlook the lane (or street if on a corner lot). Ground floor outdoor spaces may open onto the site's shared yard space. • Limit upper level side yard and garden facing windows and/or design them to increase privacy and reduce overlook on neighbouring properties, particularly homes where windows into private uses such as bedrooms may exist. If the distance to a neighbouring dwelling is less than 1.5m, transparent windows are not permitted. 	
IR8	<p>Parking:</p> <p>One additional off-street parking space shall be provided per carriage house. The parking space may be:</p> <ul style="list-style-type: none"> • Integrated in ground floor (and counted toward the carriage house's footprint / floor area) or, • A carport so long as it is architecturally integrated with the carriage house or, • Off-street surface lot. 	

Carriage House Approval Process

Step 1: Initial Design

When the initial carriage house plans are developed, the applicant and their designer work with the Official Community Plan design guidelines and Zoning Bylaw regulations to design a carriage house that fits with the overall character of the neighbourhood. We encourage all property owners to speak with their neighbours as part of the initial design process so that any concerns can be identified at an early stage. We also encourage the layout of parking and amenity areas in a way that will not infringe on a neighbour's privacy and will not change the neighbourhood character. Adherence to the City's regulations must be clearly shown on building plans that are drawn to scale and include a zoning compliance table.

Step 2: Pre-Application Meeting

Staff are available for pre-application meetings to help expedite the carriage house development process. A copy of the concept plans is required and staff will identify any items that may need to be addressed. Contact the Planning Department at 250-490-2501 or planning@penticton.ca to book a pre-application meeting.

Step 3: Development Permit Application

A development permit is required prior to issuance of a building permit for a carriage house. The purpose of the development permit is to ensure the form and character of the carriage house meets the City's design guidelines and zoning requirements, and will be well-integrated with the surrounding neighbourhood. A list of complete development permit application requirements can be found [here](#).

Step 4: Development Permit Application Review, Approval and Issuance

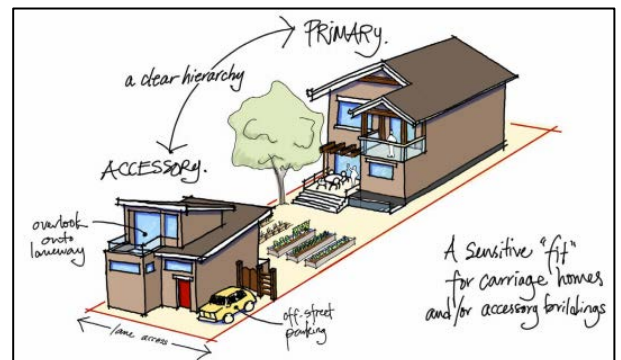
A completed development permit application is submitted to the Planning Department and assigned to a 'File Manager' who is the main contact throughout the development permit process. Development permit applications are also referred to various City departments (i.e. Building, Engineering, Public Works, etc.) for input. Applicants receive a summary of the comments.

There may be an opportunity to review the building permit application concurrently with the development permit application. This will be identified to the applicant through staff's review of the development permit application.

Staff have the delegated authority from Council to approve and issue development permits for carriage houses. However, if any variances from the Zoning Bylaw provisions (i.e. height, setbacks, floor area, etc.) are requested, Council's approval of a development variance permit application would be required.

Step 5: Submit Building Permit Application

After the development permit is approved and issued, a building permit/plumbing permit must be applied for and issued prior to constructing a carriage house. Building permit applications are submitted to the Building Department and must include sufficient information for staff to evaluate the plans against the BC Building Code requirements, building bylaw, zoning bylaw regulations and servicing bylaws. If a structure needs to be removed (i.e. garage, shed), a separate demolition permit is required. Approval of these permits must be obtained before any demolition or construction begins. A list of complete building permit application requirements can be found [here](#).



Step 6: Building Permit Application Reviewed

After the building permit application and plans have been reviewed and accepted by the Building Department, the appropriate building permits will be issued. The building permit ensures the carriage house is constructed safely and in accordance with applicable bylaws and codes. If the project conflicts with any of these regulations, changes may be required.

It is expected that the approved plans attached to the development permit and building permit plans will be followed. Any deviations from the approved plans should be discussed with both the Planning Department and Building Department prior to construction.

Step 7: Construction

Get the shovels out! Undertaking a construction project in your backyard may be disruptive for you, but you also need to think of the disruption for your neighbours. Make sure to talk to your neighbours about what is going to happen and share with them any construction equipment or deliveries that may inconvenience them through the construction process. This allows your neighbours to plan accordingly and will help maintain a positive relationship with the people in your community. If you are going to be closing the sidewalk, laneway (alley), part of the road, etc. you will need a Road Closure Permit. Please contact Development Services at 250-490-2501 to obtain a [Road Closure Permit](#). The City of Penticton's [Infill Construction Guide](#) contains helpful information.

Step 8: Inspections

A Building Official will conduct inspections at certain construction benchmarks to ensure compliance with BC Building Code requirements. These inspections will be outlined in your permit condition letter when your building permit is issued.



Step 9: Occupancy Permit

An occupancy inspection by a City Building Official will be required and must be 'Passed' before the carriage house can legally be occupied. Your carriage house is now ready to become a home!

Step 10: Business License

Prior to the rental of a carriage house, a business license must be obtained from the City's Business License Department. For any business license questions, please contact businesslicences@penticton.ca or 250-490-2501.

Have Questions? We're here to help. Please contact the Planning Department

📞 250-490-2501 or ✉️ planning@penticton.ca

Located at City Hall on the first floor at 171 Main St, Penticton BC V2A 5A9