



As part of the Provincial Government’s Housing Action Plan and new legislation (s. 464 of the Local Government Act, effective November 30, 2023), the City is prohibited from holding a Public Hearing for Zoning Amendment Bylaws that facilitate residential development and are consistent with the Official Community Plan. As such, there is no opportunity to speak to Council in person.

A new residential development is being proposed in your neighbourhood:

**Property:**  
468 Wade Avenue West

Lot 6 Block C District Lot 4 Group 7 Similkameen Division Y ale  
(Formerly Yale-Lytton) District Plan 853



**Proposal:**

The applicant is proposing to construct a low-rise apartment building (three dwelling units) on the subject property (Figure 1).

In order to proceed with the proposed development, the applicant has requested the following:

1. Rezone the property from RD2 (Duplex Housing: Lane) to RD3 (Residential Infill), with site specific provisions to permit an apartment building and increase the density to a maximum of 1.2 FAR; and
2. Vary section 10.6.2.6 of Zoning Bylaw 2023-08 to reduce the front yard from 4.5 m to 3.0 m.



*Figure 1 – Rendering of the proposed development*

**Information:**

You can find the staff report, Zoning Amendment Bylaw No. 2024-16 and Development Variance Permit PL2024-9752 on the City’s website at [www.penticton.ca/publicnotice](http://www.penticton.ca/publicnotice) or scan the QR code on the right.



**Council Consideration:**

Council will consider giving first reading to Zoning Amendment Bylaw No. 2024-16 at its Regular Council meeting scheduled for **1:00 pm, Tuesday, April 16, 2024** in Council Chambers, Penticton City Hall, 171 Main St.

Consideration of Development Variance Permit PL2024-9752 is subject to adoption of the zoning amendment bylaw. Adoption of the bylaw may occur at a future Council meeting.

All meetings are live streamed via the City's website at: [www.penticton.ca/city-hall/city-council/council-meetings](http://www.penticton.ca/city-hall/city-council/council-meetings). Select the 'Watch Live' button.

**Questions?**

Please contact **Jordan Hallam** at 250-490-2429 or [jordan.hallam@penticton.ca](mailto:jordan.hallam@penticton.ca) with any questions.

**Written Submissions:**

All submitted comments will be distributed to Council and must be received by mail or email no later than 9:30 am, Tuesday, April 16, 2024, to:

Attention: Corporate Officer, City of Penticton  
171 Main Street, Penticton, BC V2A 5A9  
Email: [corpadmin@penticton.ca](mailto:corpadmin@penticton.ca)

**Please note** that all correspondence submitted to the City of Penticton in response to this Notice must include your name and address and will form part of the public record and will be published in a meeting agenda when this matter is before the Council or a Committee of Council. The City considers the author's name and address relevant to Council's consideration of this matter and will disclose this personal information. The author's phone number and email address is not relevant and should not be included in the correspondence if the author does not wish this personal information disclosed.

Audrey Tanguay  
Planning & Licencing Manager

**Date:** April 16, 2024  
**To:** Anthony Haddad, City Manager  
**From:** Jordan Hallam, Planner II  
**Address:** 468 Wade Avenue West

**Subject:** Zoning Amendment Bylaw No. 2024-16  
 Development Variance Permit PL2024-9752  
 Development Permit PL2024-9725

File No: RMS/468 Wade Ave W

## Staff Recommendation

THAT Council give first, second, and third reading to “Zoning Amendment Bylaw No. 2024-16”, for Lot 6 Block C District Lot 4 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 853, located at 468 Wade Avenue West, a bylaw to rezone the subject property from RD2 (Duplex Housing: Lane) to RD3 (Residential Infill), and add the following site-specific provisions, within the RD3 (Residential Infill) zone, as follows:

1. “Section 10.6.4.3, In the case of Lot 6 Block C District Lot 4 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 853, located at 468 Wade Avenue West, an apartment shall be permitted.”;
2. “Section 10.6.4.4, In the case of Lot 6 Block C District Lot 4 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 853, located at 468 Wade Avenue West, the maximum density shall be 1.2 FAR.”;

AND THAT Council adopt “Zoning Amendment Bylaw No. 2024-16”;

AND THAT Council, subject to adoption “Zoning Bylaw Amendment Bylaw No. 2024-16”, consider “Development Variance Permit PL2024-9752” for Lot 6 Block C District Lot 4 Group 7 Similkameen Division



Figure 1 – Property Location Map

Yale (Formerly Yale-Lytton) District Plan 853, located at 468 Wade Avenue West, a permit to vary Section 10.6.2.6 of Zoning Bylaw 2023-08 to reduce the front yard from 4.5 m to 3.0 m;

AND THAT Council, subject to adoption of “Zoning Amendment Bylaw No. 2024-16”, approve “Development Permit PL2024-9725”, for Lot 6 Block C District Lot 4 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 853, located at 468 Wade Avenue West, a permit to approve the form and character of an apartment (three dwelling units);

AND THAT Council direct staff to issue “Development Permit PL2024-9725”;

AND THAT Council require that a 2.4 m road dedication be completed prior to the issuance of the Occupancy Permit.

**Strategic Priority Objective**

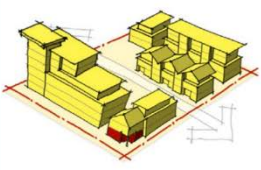
**Livable and Accessible:** Proactively plan for deliberate growth; focused on an inclusive, healthy, safe and desirable place to live.



*Figure 2 – Rendering of the proposed development*

**Proposal**

The applicant is proposing to construct a low-rise apartment (three dwelling units) on the subject property (Figure 2). In order to proceed with the proposed development, the applicant has requested to rezone the property from RD2 (Duplex Housing: Lane) to RD3 (Residential Infill), and requested site-specific zoning to allow an apartment and increased density to a maximum 1.2 FAR. A variance has also been requested to reduce the front yard setback from 4.5 m to 3.0 m due to required road widening of 2.4 m. Further, the applicant requires Development Permit approval for the form and character of the building, which has been included for Council’s consideration.

Land Use	Description	Building Type(s)	Uses	Height / Density	Zone(s)
	Higher-density 3-6 storey apartment neighbourhoods in higher-amenity areas where building construction is primarily wood frame.	<ul style="list-style-type: none"> <li>Townhouses and stacked townhouses</li> <li>Low-rise and mid-rise apartment/condo buildings</li> </ul>	<ul style="list-style-type: none"> <li>Residential</li> <li>Limited Retail/Service</li> </ul>	<ul style="list-style-type: none"> <li>Heights up to 6 storeys</li> </ul>	<ul style="list-style-type: none"> <li>RM3</li> </ul>
<p><b>Site-Specific Urban Residential Policy Statement:</b>                      556 to 736 Lakeshore Drive West: Development up to a maximum of four storeys can be considered subject to assessment of urban design impacts on Lakeshore Drive and the waterfront, Lakawanna Park and neighbouring properties on Churchill Avenue.</p>					

*Figure 3 – OCP Land Use Designation*

## **Background**

The subject property is currently zoned RD2 (Duplex Housing: Lane) and is designated as 'Urban Residential' (Figure 3) by the Official Community Plan (OCP). The property currently contains a single family dwelling that was constructed in 1935. The surrounding area features a mixture of uses, including mostly single family dwellings, multifamily, infill development, and public assembly. The property is within walking distance of Queens Park Elementary School, Main Street, Penticton Trade and Convention Centre, South Okanagan Events Centre, and commercial businesses. The property's proximity to these amenities makes it appropriate for increased density. This area is also well serviced by transit running along Wade Avenue.

### *No Public Hearing*

The proposed rezoning aligns with the underlying OCP designation of the City's OCP, therefore the City is prohibited from holding a public hearing as per the *Local Government Act*.

Due to the recent changes, the Zoning Bylaw Amendment may have first, second, third reading and be adopted in one meeting as there are no additional conditions of rezoning.

## **Financial Implication**

The applicant is responsible for all development costs, including any service upgrades and the payment of Development Cost Charges (DCC's) to help offset the added demand on City services from the proposed development.

## **Climate Impact**

The development proposes an apartment (three dwelling units) on the property, increasing density in a core area of the city and is well served by transit and in close proximity to services and employment. Each dwelling unit is required to provide 1 (3 total) Level 2 Electric Vehicle ready spaces.

The building will be required to meet Step 3 of the BC Energy Step Code. Step 3 requires new builds to be at minimum 20% more efficient than standard (2018 BCBC baseline).

## **Technical Review**

This application was reviewed by the City's Technical Planning Committee (TPC). Typical servicing requirements have been identified for the Building Permit stage of the project, if the rezoning, development permit, and development variance permit applications are supported by Council. These items have been communicated to the applicant.

### *Road Dedication*

A 2.4 road dedication is required to allow the planting of boulevard trees along Wade Avenue West, and for future road widening of Wade Avenue. Staff worked with the applicant to ensure a total of 1 boulevard trees are planted on along the front of the property.

## Development Statistics

The following table outlines the proposed development statistics on the plans submitted with the development application:

	RD3 Zone Requirement	Provided on Plans
<b>Minimum Lot Width*:</b>	9.1 m	9.9 m
<b>Minimum Lot Area*:</b>	275 m <sup>2</sup>	334.6 m <sup>2</sup>
<b>Maximum Lot Coverage:</b>	55%	52.3%
<b>Maximum Density:</b>	1.0 Floor Area Ratio (FAR)	1.15 Floor Area Ratio (FAR) – <b>site specific requested</b>
<b>Maximum Height:</b>	10.5 m	10.4 m
<b>Vehicle Parking:</b>	Total Required: 1 per dwelling unit <b>Total Required: 3 spaces</b>	<b>Total Provided: 3 spaces</b>
<b>Level 2 Electric Vehicle (EV) Ready Chargers:</b>	Total Required: 1 per dwelling unit <b>Total Required: 3 chargers</b>	<b>Total EV Ready Chargers Provided: 3 chargers</b>
<b>Bicycle Parking:</b>	Total Required: 0.5 per unit <b>Total Class 1 Required: 2</b>  Total Class 2: 0.1 per unit <b>Total Class 2 Required: 0 spaces</b>	<b>Total Class 1 Provided: 3 spaces</b>  <b>Total Class 2 Provided: 0 spaces</b>
<b>Required Setbacks</b> Front Yard (Wade Ave W): Interior Side Yard (east): Interior Side Yard (west): Rear Yard (lane):	4.5 m 1.2 m 1.2 m 6.0 m	3.0 m – <b>variance requested</b> 1.22 m 1.22 m 7.6 m
<b>Other Information:</b>	*Lot width and lot area are only applicable at the time of subdivision.	

## Analysis

### *Zoning Amendment*

The Official Community Plan (OCP) designation for the subject property is 'Urban Residential' (Figure 3), which supports higher-density 3-6 storey apartment neighbourhoods in higher-amenity areas where building construction is primarily wood frame. The applicant is proposing to construct an apartment (three dwelling units) on the property. The applicant has also requested site-specific zoning to allow an apartment as a permitted use, and increased density from 1.0 FAR to 1.2 FAR. The development and density proposed on the property are aligned with the vision of properties designated within the 'Urban Residential' designation.

In addition to alignment with the future land use designation, staff consider that the proposed zoning amendment will also allow for a development that is supported through the following OCP Goals and Policies:

OCP Policy 4.1.1.1	Focus new residential development in or adjacent to existing developed areas.
OCP Policy 4.1.3.1	Encourage more intensive “infill” residential development in areas close to the Downtown, to employment, services and shopping, through zoning amendments for housing types compatible with existing neighbourhood character, with form and character guided by Development Permit Area Guidelines.
OCP Policy 4.1.3.5	Ensure through the use of zoning that more-intensive forms of residential development are located close to transit and amenities, such as parks, schools and shopping.
OCP Policy 4.1.4.1	Work with the development community – architects, designers and buildings – to create new residential developments that are attractive, high-quality, energy efficient, appropriately scaled and respectful of their context.
OCP Policy 4.1.5.1	Recognize that some traditionally single-family neighbourhoods will see intensification as the city grows, but ensure that new forms of residential development are compatible with the neighbourhood in scale and design, and are appropriately located (e.g., greater density closer to collector roads, services and amenities).
OCP Policy 4.2.5.2	Encourage land use planning that results in neighbourhoods that can be easily serviced by transit.

Staff consider that the application proposes an appropriately scaled development in an area of the city that has been identified for increased residential density by the OCP. The proposed rezoning to allow an apartment (three dwelling units) on the property is consistent with the increased density and building forms envisioned by the ‘Urban Residential’ designation.

Furthermore, staff also wish to acknowledge the recent Province of BC announcements that will require the City of Penticton to update their zoning bylaw by June 30, 2024 to allow for up to 4 units on any single or two family zoned properties. An updated Zoning Bylaw has been proposed to Council and is currently going through the public engagement process. If Council approves the updated Zoning Bylaw, this proposed development would not require rezoning or site-specific zoning. The updated Zoning Bylaw would permit up to four units, apartments, and no density (FAR) requirement on the subject property. It is very likely that the proposed development would be permitted by the zoning changes when they occur. The applicants made their application prior to these announcements and have indicated a willingness to continue through the zoning process, rather than wait for the larger changes to happen.

Given that there is adequate policy through the OCP to support the proposed development, staff recommend that Council give first, second, and third reading to “Zoning Amendment Bylaw No. 2024-16”.

#### *Development Variance Permit*

When considering a variance to a City bylaw, staff encourage Council to consider whether approval of the variance would cause a negative impact on neighbouring properties, and if the variance request is reasonable. Staff have reviewed the requested variance to reduce the front yard setback from 4.5 m to 3.0 m and are recommending support for the following reasons:

##### *1. Road Widening*

The requested variance is to reduce the front yard setback from 4.5 m to 3.0 m. The applicant has requested this variance due to a road dedication of 2.4 m that will be taken at the front of the property

along Wade Ave W. The road widening is required to accommodate the planting of a boulevard tree, as well as for future road widening of Wade Avenue. Staff consider this road dedication of 2.4 m a hardship as the road dedication and Zoning Bylaw requirement of 4.5 m would set the building back to 6.9 m from property line. This would be greater than any other residential zone in the Zoning Bylaw. By reducing the front yard setback to 3.0 m along with the 2.4 m road dedication, the building will be approximately 5.4 m from property line. Other zones in the Zoning Bylaw such as RM2, which permits apartments, has a minimum front yard setback of 3.0 m. As such, staff are recommending that Council approve this variance to reduce the front yard setback due to hardship of the required road dedication.

As such, staff recommend that Council consider approving the Development Variance Permit after adoption of the Zoning Amendment Bylaw.

#### *Support Development Permit*

The proposed development is considered within the Multifamily Residential Development Permit Area of the OCP, which is established to enhance neighbourhoods and create sensitive transitions in scale and density by addressing issues such as privacy, landscape retention and neighbourliness. The proposed development has been designed with the OCP design guidelines in mind.

Staff have completed a development permit analysis (Attachment 'D') that shows how the development conforms to the applicable design guidelines. The applicant has also provided an analysis within their letter of intent (Attachment 'E'), which outlines the project and its conformance to the OCP design guidelines.

As such, staff recommend that Council consider approving the Development Permit after adoption of the Zoning Amendment Bylaw.

#### **Alternate Recommendations**

Council may consider that while the zoning amendment is aligned with the OCP by increasing density in a desirable area of the city, the development as proposed does not fit the character of the neighbourhood. If this is the case, Council may choose the alternate recommendation.

1. THAT Council deny first reading to "Zoning Amendment Bylaw No. 2024-16".

#### **Attachments**

Attachment A – Zoning Map

Attachment B – Official Community Plan Map

Attachment C – Photos of Property

Attachment D – Development Permit Analysis (staff)

Attachment E – Letter of Intent and Development Permit Analysis (applicant)

Attachment F – Draft Development Permit PL2024-9725

Attachment G – Draft Development Variance Permit PL2024-9752

Attachment H – Zoning Amendment Bylaw No. 2024-16



Respectfully submitted,

Jordan Hallam  
Planner II

Concurrence

Director of Development Services	GM of Infrastructure	City Manager
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Draft

Attachment A – Zoning Map

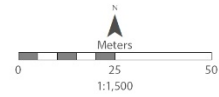


**468 Wade Ave W**  
Zoning Map



**Legend**

- Subject Parcel
- RD1 - Duplex Housing
- RM3 - Medium Density Multiple Housing
- RD2 - Duplex Housing: Lane
- C2 - Neighborhood Commercial
- RM2 - Low Density Multiple Housing
- P1 - Public Assembly



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Wednesday, January 24, 2024 8:13:02 AM

penticton.ca



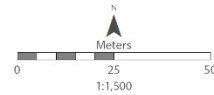
# 468 Wade Ave W

## OCP Map



### Legend

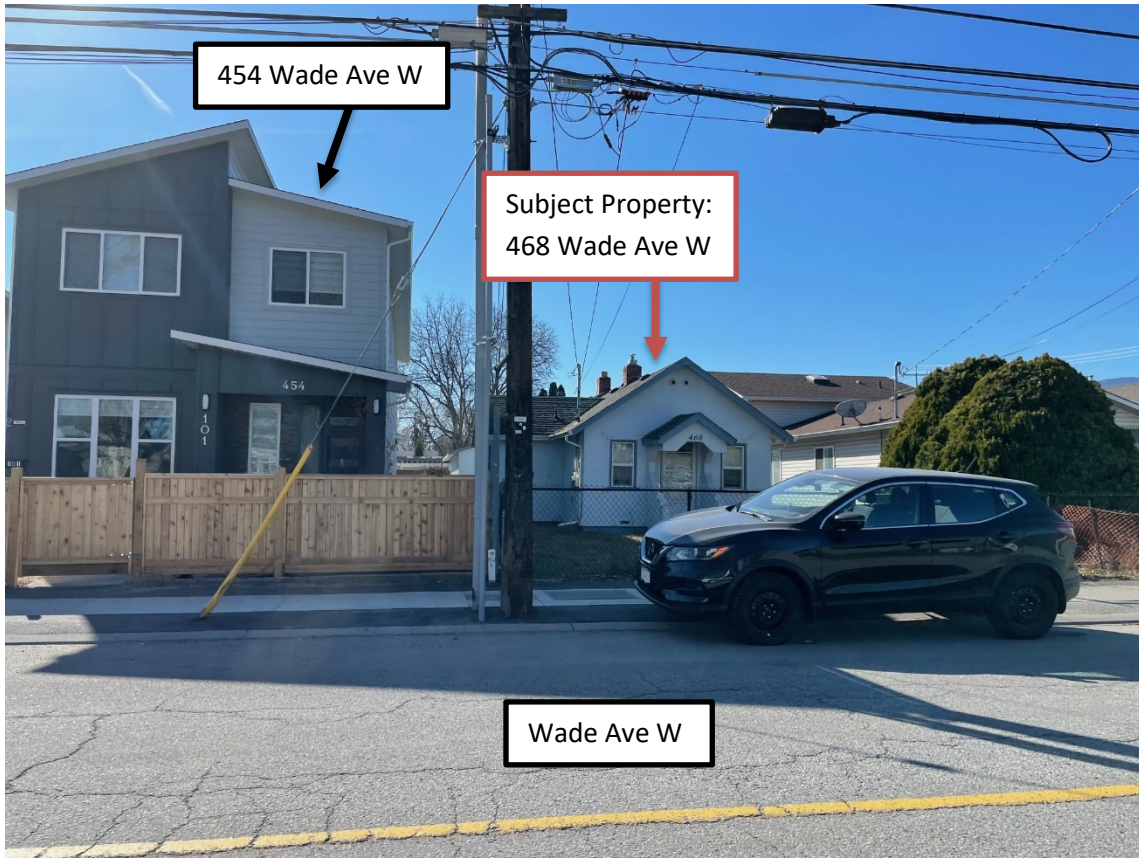
- Subject Parcel
- Future Land Use
- Ground Oriented Residential
- Urban Residential
- Infill Residential



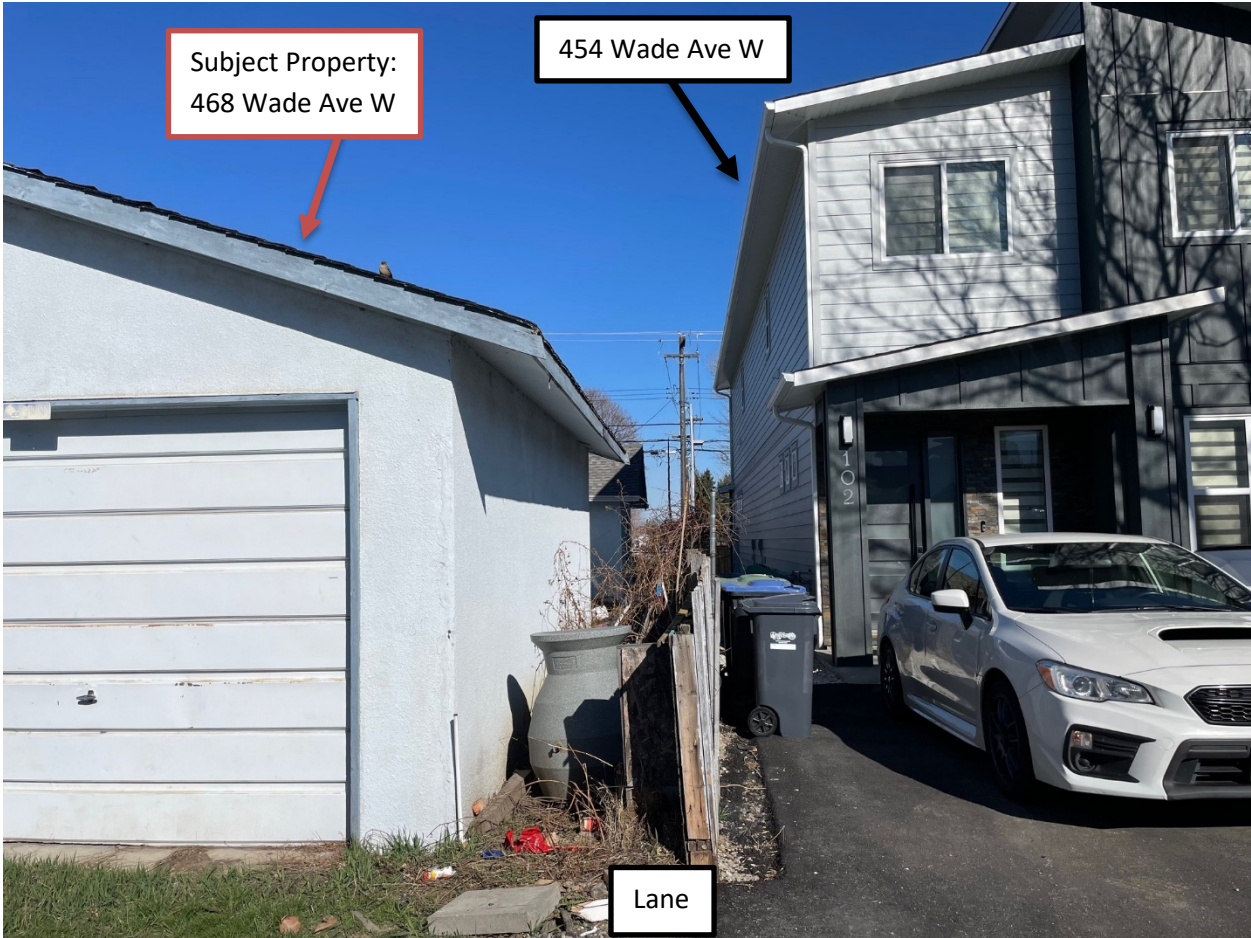
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Wednesday, January 24, 2024 8:13:41 AM

Attachment C – Photos of Property







Attachment D – Development Permit Analysis (staff)

The proposed development is located within the Multifamily Residential Development Permit Area. The following analysis demonstrates how the proposal is aligned with the applicable design guidelines.

- Guideline G1 Applications shall include a comprehensive site plan – considering adjacent context for building and landscape architectural design and neighbourhood character analysis - to demonstrate that the development is sensitive to and integrated within its context and surrounding uses and neighbours.*
- The applicant has labelled geodetic elevations on the site plan, to show they have reviewed the topography of the property, which is relatively flat.
- Guideline G5 Siting of buildings should support strong street definition by minimizing front yard setbacks while sensitively transitioning to neighbouring building setbacks.*
- The applicant has located the proposed apartment 5.4 m from property line, the minimum is 4.5 m front yard setback, which helps to maintain a connection with the street. Parking has been provided at the rear of the property via the lane.
- Guideline G7 All designs shall consider Crime Prevention Through Environmental Design (CPTED) principles and balance the reduction of crime and nuisance opportunities with other objectives to maximize the enjoyment of the built environment.*
- The proposed front yard fencing is limited to 1.2m (4ft.) in height, which is aligned with the Zoning Bylaw requirements and also helps to retain 'eyes on the street' by keeping sightlines open from private property to the public streetscape.
- Guideline G11 Barrier-free pedestrian walkways to primary building entrances must be provided from municipal sidewalks, parking areas, storage, garbage and amenity areas.*
- Wade Ave W to the north side of the development provides pedestrian access to the development.
  - The proposed development has a sidewalk accessed from Wade Ave W to allow barrier-free pedestrian access to all building unit entrances.
- Guideline G21 Orientation of buildings should face public spaces (e.g., street and lane) with a preference for ground-oriented types (e.g., a front door for everyone or every business).*
- The proposed development provides private outdoor amenity with patios and decks on the front and behind each dwelling unit.
  - Each dwelling unit has a front door for access from Wade Ave W and the rear lane.
- Guideline G33 Water Conservation and Plant Maintenance: Xeriscaping, Irrigation & Mulching*
- The proposed development includes a landscaping plan that provides adequate and appropriate designs.
  - The plans indicate a fully automatic underground irrigation system, which helps to reduce overwatering.
- Guideline G35 Tree planting...*
- Trees and shrubs have been provided along the front property line and shrubs adjacent to the parking area.
- Guideline MF3 Amenity spaces should incorporate vegetation for the purposes of active and passive recreation and/or visual interest, and incorporate safe play areas in interior court yards.*

- The proposed development has one boulevard tree proposed at the front of the property and multiple shrubs. This creates visual interest for the residents or tenants living in the units, and provides area of shade during the summer months.

*Guideline MF4* Visitor parking should be:

- *In public view,*
- *Easily accessible near the main entry to the site, and*
- *Clearly indicated by pavements markings and/or signs*
- The proposed development has one visitor parking space off of the rear lane.
- The visitor parking space are in good public view from the lane for drivers who come to visit residents or tenants of the proposed development.





**GIROUX DESIGN GROUP**  
QUALITY HOME & BUILDING DESIGN SINCE 1950

January 16, 2024

Giroux Design Group Inc.

City of Penticton  
171 Main Street  
Penticton BC, V2A 5A9

Re: 468 Wade Ave. W. Rezoning and Development Permit Application

To City of Penticton Planning Department,

This letter is regarding the proposal to rezone and develop the property located at 468 Wade Avenue W. The proposal falls within the current OCP for the property and is consistent with developments in the area. The plan is to rezone the property from RD2 to RD3 to allow for the construction of a three unit stacked townhouse. The building is two-and-a-half storeys in height with the lower unit partially below grade. With the additional third unit we believe this is an excellent opportunity to provide additional density while maintaining a modest footprint similar to a typical duplex development.

The location of the development is also ideal for both older individuals, first time homeowners, or families as there are schools and library within walking distance, as well as shopping, parks, and downtown.

No variances are required for this application.

We believe the project meets the intent of providing modest densification to an area of town that has a mix of townhouses and high-density apartment buildings. This development is a new concept for our company and for the developer designed with the need for more price conscious development.

Thank you for considering our proposal.

Best regards,

Tony Giroux **ASTTBC, CTech, RBD, BCABD**  
Owner/Registered Building Designer  
Giroux Design Group Inc.

## Site Planning

### Designing in Context

*Contextual designs feel better because they 'fit.' In light of Penticton's complex and unique landscape, views and urban patterns, it is important that designs reflect this character. Guidelines address site conditions and context, including: sensitivity to on-site features (e.g., terrain and sun angle), adjacencies (e.g., street interface and existing uses), potential impacts (e.g., overlook and shading) and other related opportunities (e.g., energy conservation).*

G1. Prior to site design, analysis shall be undertaken to identify significant on-site and off-site opportunities and constraints, including built and natural elements (e.g., structures, slopes and drainage, significant landscape features, etc.)

*As identified on the City GIS mapping site, no road widening is required for this project.*

G3. Private and semi-private open spaces should be designed to optimize solar access (see Figure G3).

*Each unit has a private covered deck on the north side of the building facing Wade Ave. This allows for outdoor living in a downtown setting suitable for use year round.*

G4. Views through to the mountains and the lakes should be carefully considered and incorporated into the design of new development.

*Windows on all four sides of the building allow for views of the mountains to the east and west and over the City to the north and south.*

### Framing Space

*In consideration of Penticton's relatively low-scale urban form, future intensification and development should explore how buildings actively frame space(s) as a means to expand and enhance the public realm. The following guidelines aim to promote positive interactions with particular care and attention to transitions between private and public spaces.*

G5. Siting of buildings should support strong street definition by minimizing front yard setbacks while sensitively transitioning to neighbouring building setbacks.

*This portion of Wade Ave is a mix of newer developments, older homes that have good development potential, and empty lots with the same potential. The building placement is set with the required setbacks for this zoning as it is the only way possible for the units to have three bedrooms which is necessary for the success of the development. As the street becomes more developed the setback proposed will become the typical for the street.*

G7. All designs shall consider Crime Prevention Through Environmental Design (CPTED) principles and balance the reduction of crime and nuisance opportunities with other objectives to maximize the enjoyment of the built environment.

*The units have a common entrance area leading to front and rear entry doors within. This provides an additional level of security. All units have windows overlooking the vehicle parking at the rear of the building.*

### Prioritizing Pedestrians

*A high-quality pedestrian environment is a central quality of any welcoming neighbourhood. Penticton is fortunate to have an extensive neighbourhood street network that links distinct areas in a reasonable walking distance. The following guidelines aim to optimize the quality and connectivity of pedestrian infrastructure and reduce conflict between pedestrians and vehicles.*

G9. Pedestrian connectivity to adjacent properties is encouraged. With the exception of private yards, open spaces shall be designed for public access and connectivity to adjacent public areas (and publicly-accessible private spaces).

The development is in an ideal location for walking as it is close to downtown, schools, parks, the community centre, and transit stops.

G12. Where feasible, indicate pedestrian ways with continuity of paving treatments/paving materials.

A 1.2 m wide sidewalk provides access to both the front and rear entry doors.

G13. Entry to ground-level residential units should be no more than 1.8m (6.0 ft.) above the grade of adjacent public sidewalks and walkways (see Figure G14).

The entrances to the building are approximately 0.75 m above the City sidewalk.

### Cars and Parking

*The following guidelines are intended to reduce the impacts of automobile infrastructure – including access and parking – and to further support a high quality pedestrian realm. (see Figure 5-3 and Figure 5.4)*

G16. Site and building access must prioritize pedestrian movement, minimize conflict between various modes of transportation and optimize use of space:

- Off-street parking and servicing access should be provided from the rear lane (where one exists) to free the street for uninterrupted pedestrian circulation and boulevard landscaping (see Figure 5-4).
- Where possible, shared automobile accesses should be considered to optimize land use, and to reduce impermeable surface coverage and sidewalk crossings.

Three parking spaces are provided on an asphalt pad located at the rear of the property accessible from the lane.

G17. On-site parking location and design should minimize visual impact and provide safe connections for pedestrians:

- Parking between the front of buildings and the street is not permitted.
- Parking should be located at the rear of buildings/sites.
- Shared parking (where varying uses have parking demands that peak at different times of the day) is encouraged to reduce parking requirements.
- Outdoor surface parking areas should incorporate pathways that provide safe, accessible and comfortable pedestrian connections to entries/destinations.

The parking area is easily accessible for all the units with a connecting sidewalk to the front of the building located on the west side of the property.

## Architecture

### Design for Our Climate

*In response to Penticton's semi-arid climate, design buildings and landscape architecture that reflect a love for indoor/outdoor living resulting from low annual rainfall and hot summer temperatures.*

G20. Designs should respond to Penticton's setting and climate through use of:

- passive solar strategies;
- optimized placement of windows to maximize natural light;
- energy-efficient building design;
- passive solar principles;
- landscape design and plantings that provide cooling through shade in summer months;
- selecting roof materials to minimize heat loading and increase reflectivity.; and,
- strategies for cross-ventilation.

The units each have windows on all four sides of the building. The covered deck provides shade during the hottest months of the year. Windows are openable allowing for cross ventilation. Buildings are designed to Step 3 of the Energy Code.

### Friendly Faces, Friendly Neighbours (Orientation & Massing)

*Massing (the three-dimensional form) and articulation (how the parts fit together) of architecture are tools that can reduce the apparent size of large buildings and help ensure the sensitive transition to adjacent buildings and open spaces. It can also provide visual interest for pedestrians. New development should consider the scale of its neighbours and avoid abrupt transitions in height and massing between adjacent buildings.*

G21. Orientation of buildings should face public spaces (e.g., street and lane) with a preference for ground-oriented types (e.g., a front door for everyone or every business).

The north side of the building faces Wade Avenue and the façade on this side is attractive with an obvious entry door and porch.

G23. Articulation of building mass should include horizontal (minor) setbacks and stepbacks (along upper storeys) to provide visual interest and enrich the pedestrian experience. Balconies and/or cantilevered upper floors may be considered as a means to breaking up massing while promoting overlook and/or weather protection.

The building is rectangular in form, however the façade of the building is enhanced by the use of various building materials, and the front face of the building is accentuated by decks and a porch.

### Eyes on the Street

*Create active and safe shared spaces through orientation of primary building entrances, windows, porches/ balconies to the public realm, sidewalks and other shared open spaces.*

G28. Entries should be visible and clearly identifiable from the fronting public street.

Common entry doors to the building are located at the front and rear of the building and are easily identifiable. Windows from each unit face in all directions.

G29. Development should orient windows, porches, balconies and patios toward the public realm, allowing for casual overlook of parks, open spaces, and parking areas (see Figure 5-7).

The majority of the windows face Wade Avenue and the lane. The windows on the east and west sides of the building are kept to a minimum for privacy to the neighbouring properties.

## **Landscape Architecture**

### **Enhance the Urban Forest**

Urban forests are recognized for the economic, social, and environmental benefits they provide. In addition to considerations for form & character, enhancement of Penticton's urban forest will support health and well-being for all.

#### **G35. Tree planting**

- Where space permits, landscaped areas, boulevards and setback areas adjacent to streets should be planted with trees with appropriate soil volumes to ensure longevity.
- All areas with planted trees must be irrigated
- All development fronting a public street shall plant a landscaped area fronting the public road with regularly spaced street trees no further than 10 metres apart, and at least 2.5 meters tall at the time of planting.
- The planting of additional trees is strongly encouraged, particularly if existing trees cannot be preserved, in order to maintain and expand the urban forest canopy.

A new tree is planted in the front yard along with new shrubs and plants at the front and rear.

### **Utilities, Mechanical Services and Servicing**

*As essential components of the city's built infrastructure, these elements must be intentionally integrated in the overall design to mitigate impacts on form and character.*

G54/55. Mechanical/Utility cabinets and transformer pads (units) shall be located at the rear of the property, behind the building. Where this is unachievable, units may be located at the edge of the front yard and must be incorporated into landscaped areas and screened from the street.

As this is a small scale development with a low electrical draw we would anticipate that a dedicated transformer on site would not be necessary.

G58. Garbage/recycling areas and other similar structures should be located out of public view in areas that mitigate noise impacts and which do not conflict with pedestrian traffic.

Garbage and recycling containers are stored on concrete pads in the rear yards within 42" screened enclosures during non-collection days and will be placed in front of driveway for pickup on collection days.

G59. Garbage and recycling bins should be contained within screened enclosures that are coordinated with the overall design.

The screened enclosure will be of the same material as the privacy fencing to fit into the landscape theme.

G60. Clear access to refuse/recycling areas must be provided.

Each unit will have it's own garbage and recycling containers with one community yard waste collection bin in a screened enclosure at the west side of the parking area.

**Fences**

*Notwithstanding the fencing regulations in the Zoning Bylaw, fencing design should provide a level of privacy to the development but not present an unfriendly solid wall to the public street.*

G63. All plans should show intended fencing.

Fencing is shown on landscape plans. Fencing along the east, west and south property lines is 6' tall wood privacy fence with the exception that the fence is 4' high in the front yard. There is no fence on the front (north) property line. There are 6' fences between each private yard in the side setbacks.

## Development Permit

Permit Number: DP PL2024-9725

Owner Name  
Owner Address

### Conditions of Permit

1. This permit is issued subject to compliance with all of the bylaws of the City, except as specifically varied or supplemented by this Permit.
2. This permit applies to:
  - Legal: Lot 6 Block C District Lot 4 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 853
  - Civic: 468 Wade Avenue West
  - PID: 012-022-624
3. This permit has been issued in accordance with Section 489 of the *Local Government Act*, to permit the construction of a three-storey apartment as shown in the plans attached in Schedule 'A'.
4. In accordance with Section 502 of the *Local Government Act* a deposit or irrevocable letter of credit, in the amount of \$\_\_\_\_\_ must be deposited prior to beginning works authorized by this permit. The City may apply all or part of the above-noted security in accordance with Section 502 of the *Local Government Act*, to undertake works or other activities required to:
  - a. correct an unsafe condition that has resulted from a contravention of this permit,
  - b. satisfy the landscaping requirements of this permit as shown in Schedule 'A' or otherwise required by this permit, or
  - c. repair damage to the natural environment that has resulted from a contravention of this permit.
5. The holder of this permit shall be eligible for a refund of the security described under Condition 4 only if:
  - a. The permit has lapsed as described under Condition 8, or
  - b. A completion certificate has been issued by the Building Inspection Department and the Director of Development Services is satisfied that the conditions of this permit have been met.
6. Upon completion of the development authorized by this permit, an application for release of securities (Landscape Inspection & Refund Request) must be submitted to the Planning Department. Staff may carry out inspections of the development to ensure the conditions of this permit have been met. Inspection fees may be withheld from the security in accordance with the City of Penticton Fees and Charges Bylaw (as amended from time to time).

## General Conditions

7. In accordance with Section 501(2) of the *Local Government Act*, the lands subject to this permit shall be developed in general accordance with this permit and the plans attached as Schedule 'A'.
8. In accordance with Section 504 of the *Local Government Act*, if the holder of this permit does not commence the development authorized by this permit within 2 years of the date of this permit, this permit shall lapse.
9. **This permit is not a building permit. In order to proceed with this development, the holder of this permit must hold a valid building permit issued by the Building Inspection Department.**
10. This permit does not constitute any other municipal, provincial or federal approval. The holder of this permit is responsible to obtain any additional municipal, federal, or provincial approvals prior to commencing the development authorized by this permit.
11. This permit does not include off-site infrastructure costs that may be required at the building permit stage, such as Development Cost Charges (DCC's), road improvements and electrical servicing. There may be substantial infrastructure and servicing costs payable at a later date. For more information on servicing and infrastructure requirements please contact the Development Engineering Department at (250) 490-2501. For more information on electrical servicing costs, please contact the Electric Utility at (250) 490-2535.

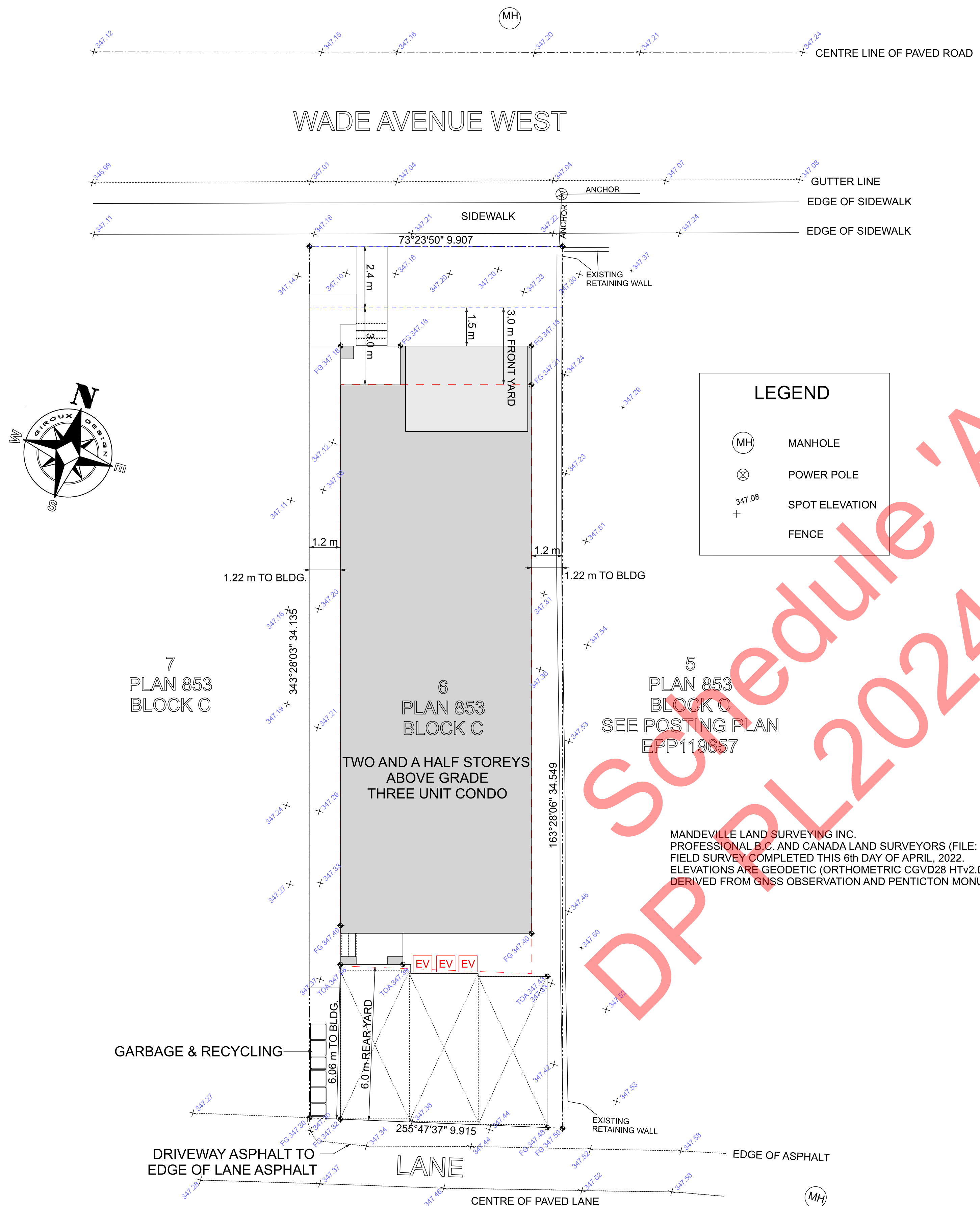
Authorized by City Council, the 16th day of April, 2024.

Issued this \_\_\_\_ day of April, 2024.

---

Angela Collison  
Corporate Officer





**LEGEND**

- (MH) MANHOLE
- ⊗ POWER POLE
- 347.08 SPOT ELEVATION
- FENCE

**ZONING COMPLIANCE TABLE (PROPOSED ZONING RD3)**

REGULATION	REQUIRED/CURRENT	PROPOSED/PROVIDED	VARIANCE REQUIRED
OCP DESIGNATION	URBAN RESIDENTIAL	TBD	NO
ZONING	RD2	RD3	YES
MINIMUM LOT WIDTH (SUBDIVISION ONLY)	10.5	9.9 m	N/A
LOT AREA (SUBDIVISION ONLY)	275 m <sup>2</sup>	340.23 m <sup>2</sup>	N/A
MAXIMUM LOT COVERAGE	55% (187.13 m <sup>2</sup> )	49% (168 m <sup>2</sup> )	NO
MAXIMUM DENSITY	1.0 FAR	1.2 FAR (420.6 m <sup>2</sup> )	YES
MAXIMUM HEIGHT	10.5 m	10.4 m	NO
MINIMUM FRONT YARD (NORTH)	4.5 m	3.0 m	YES
MINIMUM INTERIOR SIDE YARD (EAST, WEST)	1.2 m	1.2 m	NO
MINIMUM EXTERIOR SIDE YARD	3.0 m	3.0 m	NO
MINIMUM REAR YARD (SOUTH)	6.0 m	6.0 m	NO
PARKING SPACES (1 PER UNIT)	3	3	NO

IN THE CASE OF THE RD3 ZONE, A CARRIAGE HOUSE IS PERMITTED ON THE SAME LOT AS A PRINCIPAL DWELLING WITH A SECONDARY SUITE OR A DUPLEX BUILDING FOR A MAXIMUM OF THREE (3) DWELLINGS ON A LOT. IN THE CASE OF DUPLEX DEVELOPMENT, WHERE A REAR LANE IS PROVIDED, VEHICULAR ACCESS MUST BE FROM THE REAR LANE. IN CASES WHERE A DWELLING UNIT FACES THE BACK OF THE LOT, A CLEAR, UNOBSTRUCTED AND MAINTAINED ACCESS FROM THE FRONT OF THE PROPERTY TO THE BACK UNIT AT LEAST 1.2 M IN WIDE, MUST BE PROVIDED.

**ELECTRIC VEHICLE READY REQUIREMENTS IN ACCORDANCE WITH ZONING BYLAW NO. 2023-08**

TO ENSURE NEW HOMES ARE BUILT WITH READY ACCESS TO A POWER SUPPLY CAPABLE OF PROVIDING LEVEL 2 EV CHARGING, THE FOLLOWING REQUIREMENTS MUST BE MET:

- MINIMUM NUMBER OF ENERGIZED OUTLETS FOR LEVEL 2 CHARGING: 1 PER DWELLING UNIT.
- CONSTRUCTION REQUIREMENTS THAT INCLUDE: ELECTRICAL PANEL CAPACITY, WIRING, AND CONTINUOUS CONDUIT OR RACEWAY (AS APPLICABLE) FROM THE PANEL, TERMINATING AT AN ENERGIZED OUTLET NEAR THE DESIGNATED EV PARKING SPACE(S). ADDITIONAL ELECTRICAL AND EV CHARGING INFRASTRUCTURE IS REQUIRED TO ENERGIZE THE CIRCUIT AND TO SUPPLY POWER TO FUTURE LEVEL 2 EVSE AND EVEMS (IF APPLICABLE).
- A POINT CONNECTED TO A SOURCE OF VOLTAGE IN AN ELECTRICAL WIRING INSTALLATION AT WHICH CURRENT IS TAKEN AND CAN BE CONNECTED TO SUPPLY UTILIZATION EQUIPMENT. AN OUTLET INCLUDES A COVERED TERMINATION BOX, NEMA 14-50R RECEPTACLE, OR NEMA 6-50R RECEPTACLE. ADDITIONAL TERMINATION MEANS MAY BE APPROVED BY THE CITY OF PENTICTON ELECTRIC UTILITY MANAGER.
- ELECTRIC VEHICLE CHARGING AT 208 V OR 240 V THROUGH SUPPLY UTILIZATION EQUIPMENT THAT MEETS THE DEFINITION OF LEVEL 2 BY THE STANDARD "SAE ELECTRIC VEHICLE AND PLUG IN HYBRID ELECTRIC VEHICLE CONDUCTIVE CHARGE COUPLER", J1772.

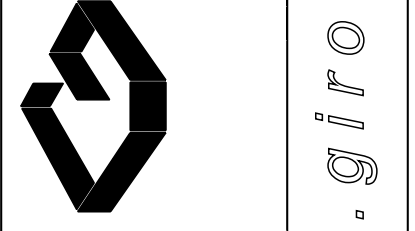
**SITE PLAN**  
 SCALE: 1:100  
 CIVIC ADDRESS: 468 WADE AVENUE WEST, PENTICTON, BC  
 LEGAL DESCRIPTION: SITE PLAN SHOWING CERTAIN FEATURES ON LOT 6, Bk C, DL 4, Gp 7, SDYD, PLAN 853  
 PID: 012-022-624  
 LOT AREA: 340.23 m<sup>2</sup> (3662 sq.ft.)

CARY SCHNEIDERAT  
 468 WADE AVE W.  
 PENTICTON, BC  
 DESIGN BY: AIG  
 DRAWN BY: AIG  
 DATE: 2024-03-18  
 REVISED:

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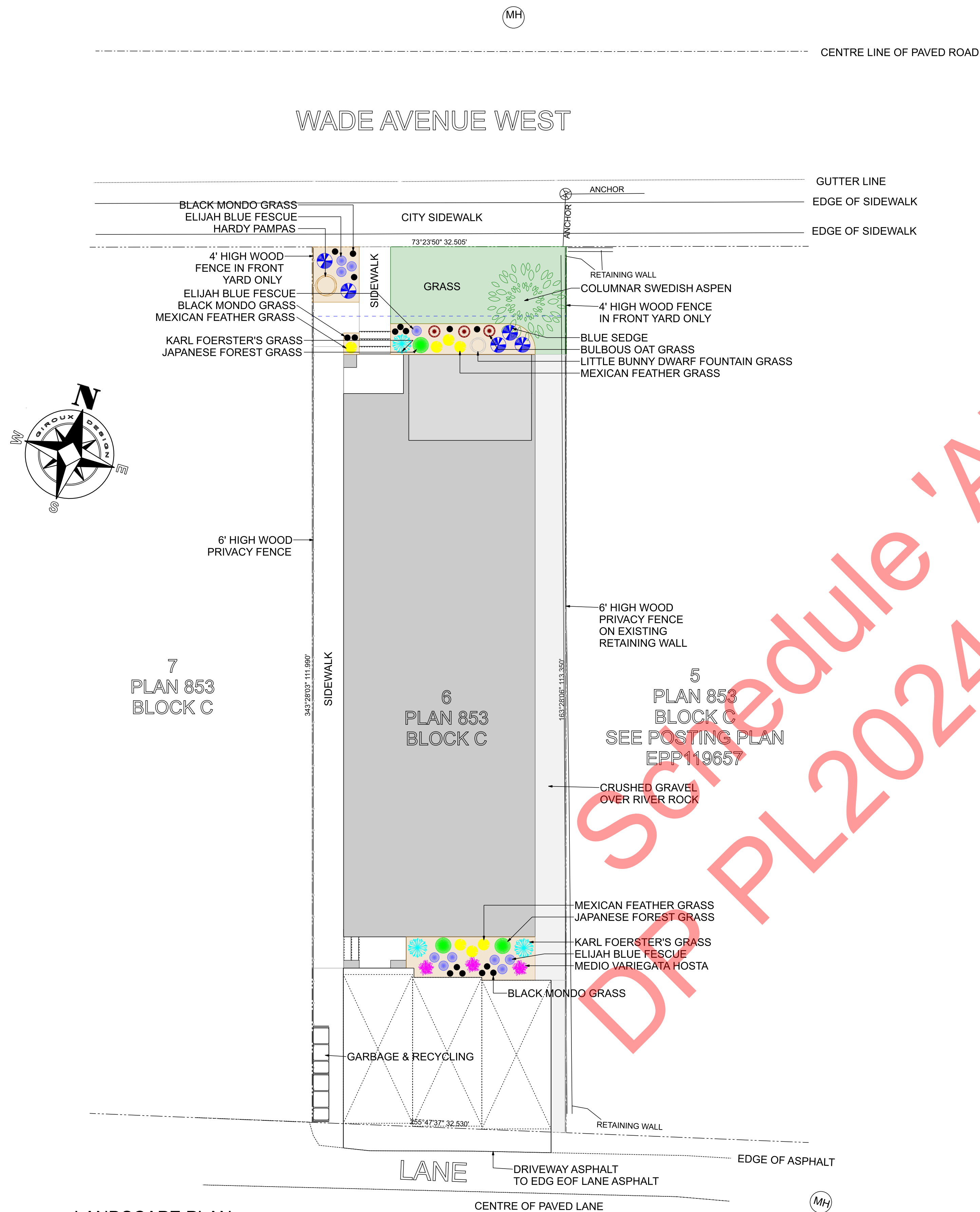
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PLAN NO.  
**WP-5806**  
 SLAB  
 SHEET NO.  
**A1**

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Site Plan & Zoning Compliance Table



**LANDSCAPE PLAN**

SCALE: 0.1200" = 1'-0"  
 CIVIC ADDRESS: 468 WADE AVENUE WEST, PENTICTON, BC  
 LEGAL DESCRIPTION: SITE PLAN SHOWING CERTAIN FEATURES ON LOT 6, Bk C, DL 4, Gp 7, SDYD, PLAN 853  
 PID: 012-022-624  
 LOT AREA: 340.23 m<sup>2</sup> (3662 sq.ft.)

**LANDSCAPE SCHEDULE**

- PLANTINGS:**  
 Asiatic Lilies (Asiatic Hybrid Lilies) 2 qty.  
 Black Mondo Grass (Ophiopogon planiscapus 'Nigrescens') 15 qty.  
 Blue Sedge (Carex flacca) 5 qty.  
 Bulbous Oat Grass (Arrhenatherum bulbosum 'Variegatum') 3 qty.  
 Columnar Swedish Aspen (Populus tremula 'Erecta') 1 qty.  
 Elijah Blue Fescue (Festuca glauca 'Elijah Blue') 10 qty.  
 Hardy Pampas (Erianthus ravennae) 1 qty.  
 Japanese Forest Grass (Hakonechloa macra 'Fubuki') 3 qty.  
 Karl Foerster's Grass (Calamagrostis x acutiflora Karl Foerster) 3 qty.  
 Little Bunny Dwarf Fountain Grass (Pennisetum alopecuroides 'Little Bunny') 1 qty.  
 Medio Variegata Hosta (Hosta undulata 'Mediovariegata') 3 qty.  
 Mexican Feather Grass (Stipa tenuissima) 7 qty.
- TREES:**  
 Bloodgood Japanese Maple (Acer palmatum var. atropurpureum 'Bloodgood') 1 qty.  
 Blue Arrow Juniper (Juniperus scopulorum 'Blue Arrow') 4 qty.  
 Emerald Sentinel Sweetgum (Liquidambar styraciflua 'Clydesform') 2 qty.  
 Korean Maple (Acer pseudosieboldianum) 2 qty.

- GARBAGE DISPOSAL:**  
 Garbage Container 3 qty.  
 Recycling Container 3 qty.  
 Yard Waste Container 1 qty.

- GROUND COVER/HARD SURFACES:**  
 Property Area (3,665 sq.ft.)  
 Asphalt (598 sq.ft.)  
 Grass (240 sq.ft.)  
 Planting Beds-Bark Mulch (198 sq.ft.)  
 Crushed Gravel or River Rock-Rainbow (360 sq.ft.)  
 Landscape Fabric (651 sq.ft.)  
 Sidewalks/Patios (750 sq.ft.)

- FENCING:**  
 4' High Wood Fence (15 lin.ft.)  
 6' High 'Good Neighbour' Privacy Fence (122 lin.ft.)

**LANDSCAPE NOTES:**

SHRUBS SHALL BE A MIN OF No.2 POT SHRUBS

ALL TREES ARE TO BE A MINIMUM CALIPER OF 60mm WITH A CLEAR STEM HEIGHT OF 1.5 m

NO TREES, FENCES OR STRUCTURES WITHIN ROAD DEDICATION

NO RETAINING WALLS OVER 1.2 m IN HEIGHT ARE PERMITTED WITHIN ANY SETBACK AREA

LANDSCAPED AREAS TO BE EQUIPPED WITH UNDERGROUND IRRIGATION SYSTEM COMPLETE WITH MOISTURE SENSORS & TIMERS.

LANDSCAPING AND IRRIGATION TO EXTEND TO EDGE OF CITY SIDEWALKS, CURBS, ASPHALT. (INCLUSIVE OF LANDSCAPING ON CITY BOULEVARD)

DRIVEWAY ASPHALT TO EXTEND TO STREET AND LANE ASPHALT.

CARY SCHNEIDERAT  
 468 WADE AVE W.  
 PENTICTON, BC  
 DESIGN BY: AIG  
 DRAWN BY: AIG  
 DATE: 2024-03-18  
 REVISED:

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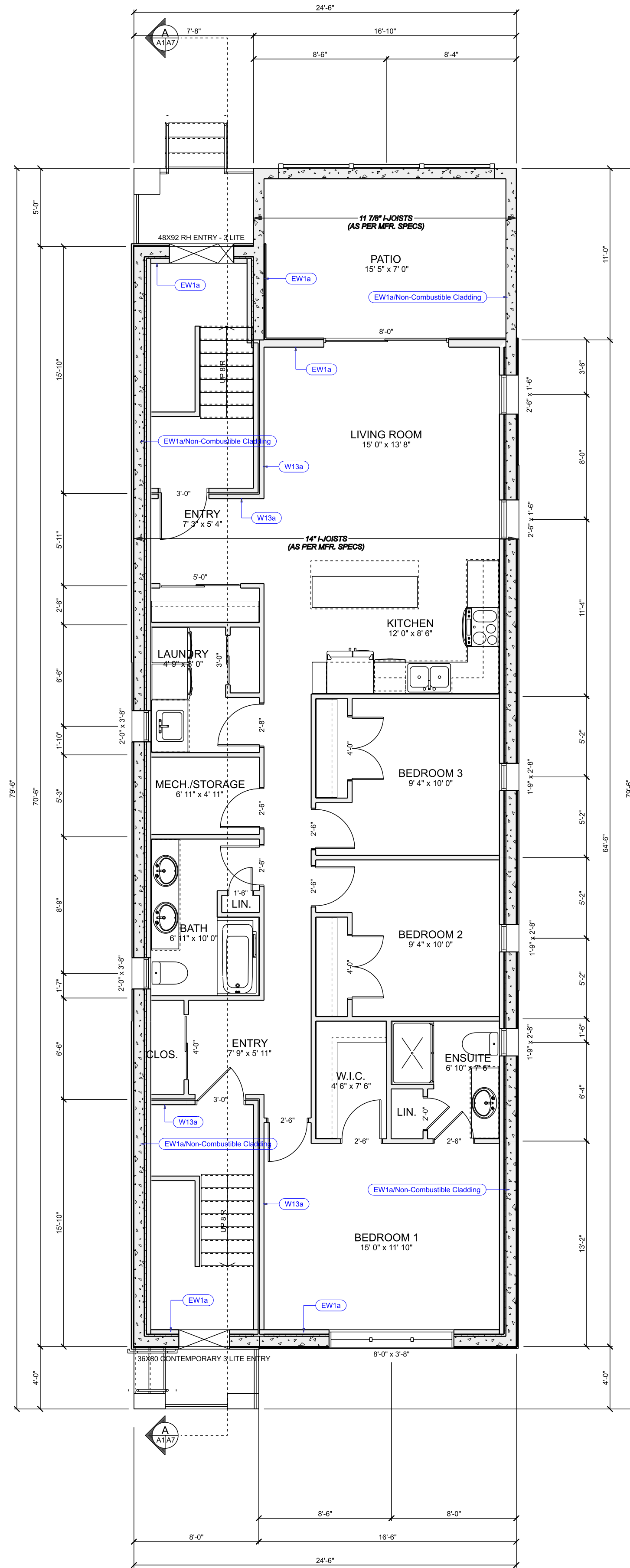
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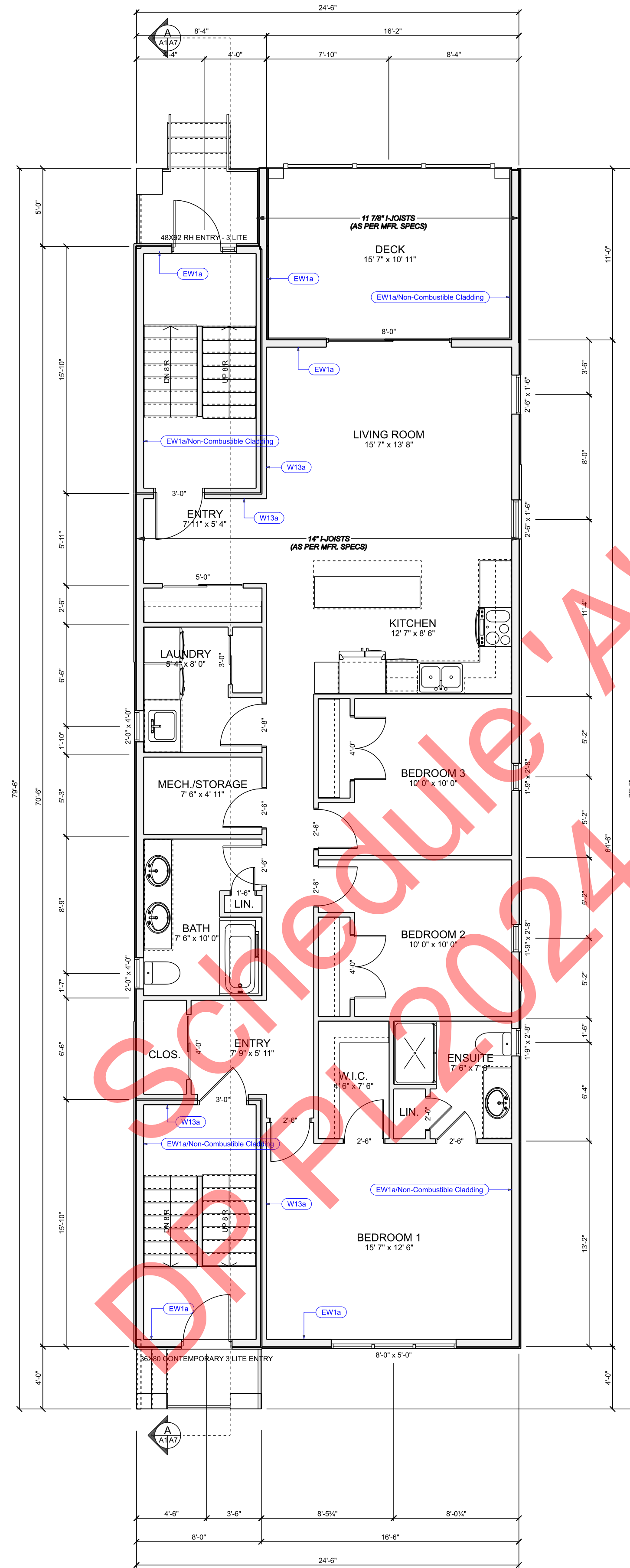
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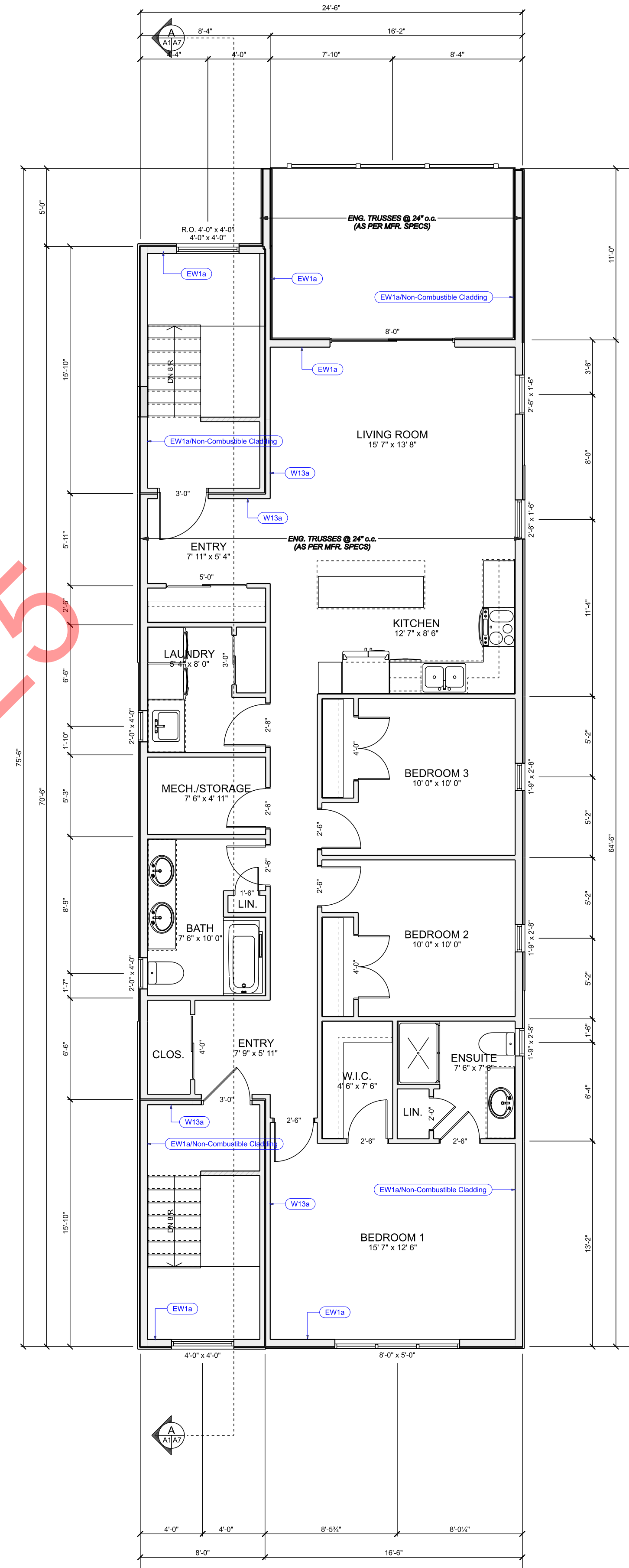
Landscape Plan



**LOWER FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"  
 UNIT AREA: 1361 sq ft.  
 COMMON STAIR AREA: 140 sq ft.  
 PATIO AREA: 160 sq ft.  
 GROSS FLOOR AREA (PER FLOOR): 1501 sq ft.  
 NOTE: THESE BUILDINGS ARE REQUIRED TO BE SPRINKLERED (ALL ROOMS, CLOSETS AND BATHS)  
 EXTERIOR SIDE WALLS ARE TO BE NON-COMBUSTIBLE CLADDING.



**MAIN FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"  
 UNIT AREA: 1361 sq ft.  
 COMMON STAIR AREA: 186 sq ft.  
 DECK AREA: 173 sq ft.  
 GROSS FLOOR AREA (PER FLOOR): 1547 sq ft.  
 NOTE: THESE BUILDINGS ARE REQUIRED TO BE SPRINKLERED (ALL ROOMS, CLOSETS AND BATHS)  
 EXTERIOR SIDE WALLS ARE TO BE NON-COMBUSTIBLE CLADDING.



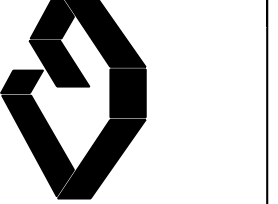
**UPPER FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"  
 UNIT AREA: 1361 sq ft.  
 COMMON STAIR AREA: 119 sq ft.  
 DECK AREA: 179 sq ft.  
 GROSS FLOOR AREA (PER FLOOR): 1479 sq ft.  
 NOTE: THESE BUILDINGS ARE REQUIRED TO BE SPRINKLERED (ALL ROOMS, CLOSETS AND BATHS)  
 EXTERIOR SIDE WALLS ARE TO BE NON-COMBUSTIBLE CLADDING.

CARY SCHNEIDERAT  
 468 WADE AVE W.  
 PENTICTON, BC  
 DESIGN BY: AIG DATE: 2024-03-18  
 DRAWN BY: AIG REVISED:

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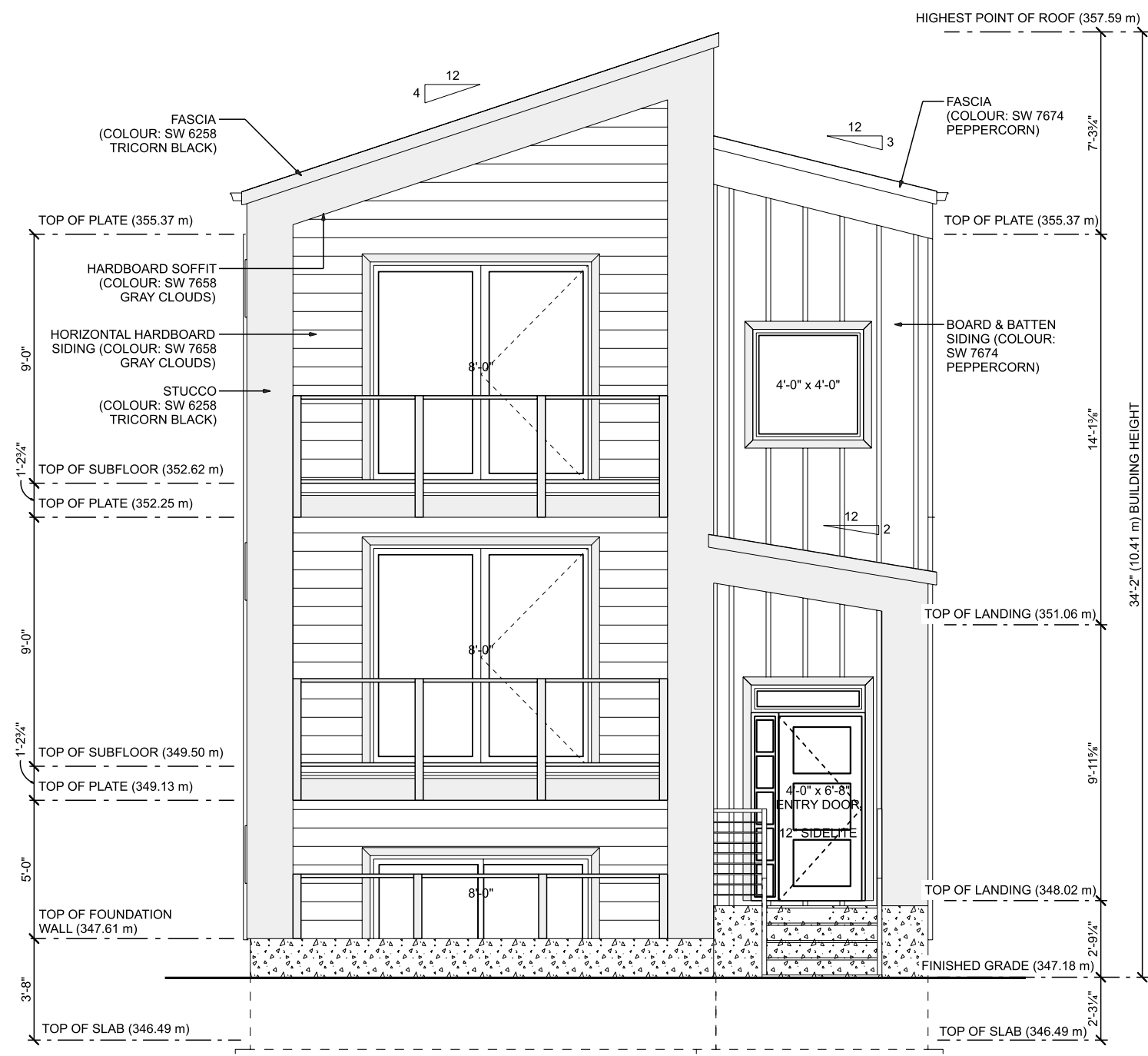


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**A3**

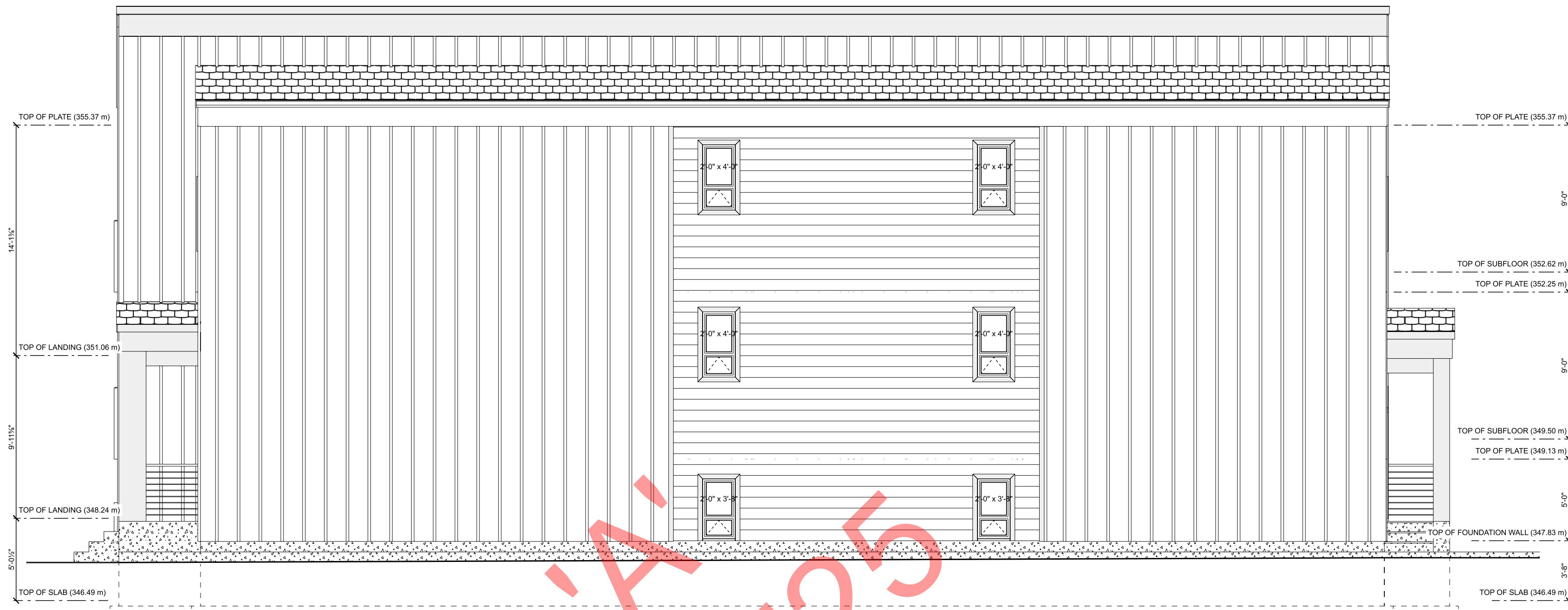
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Floor Plans

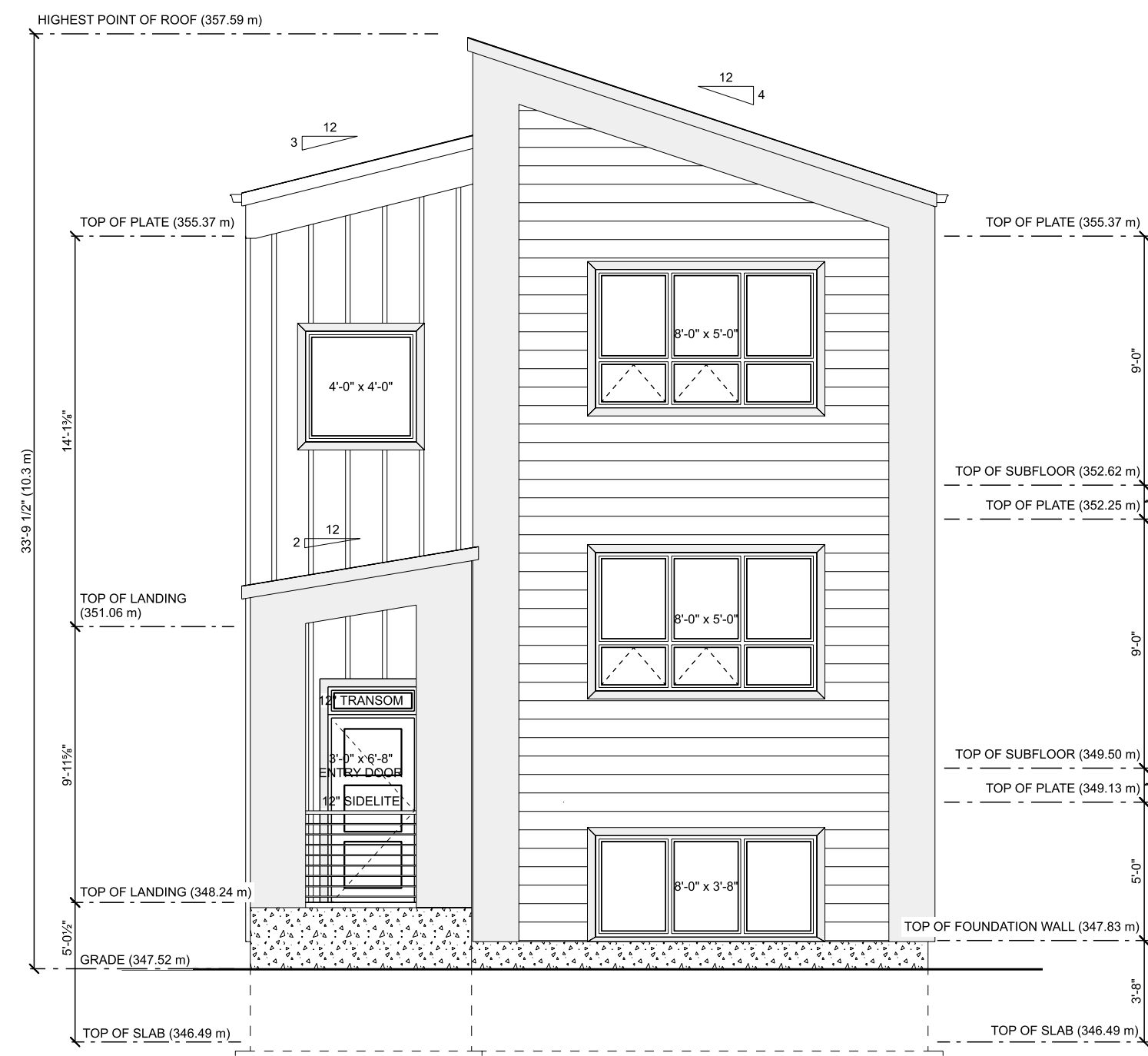
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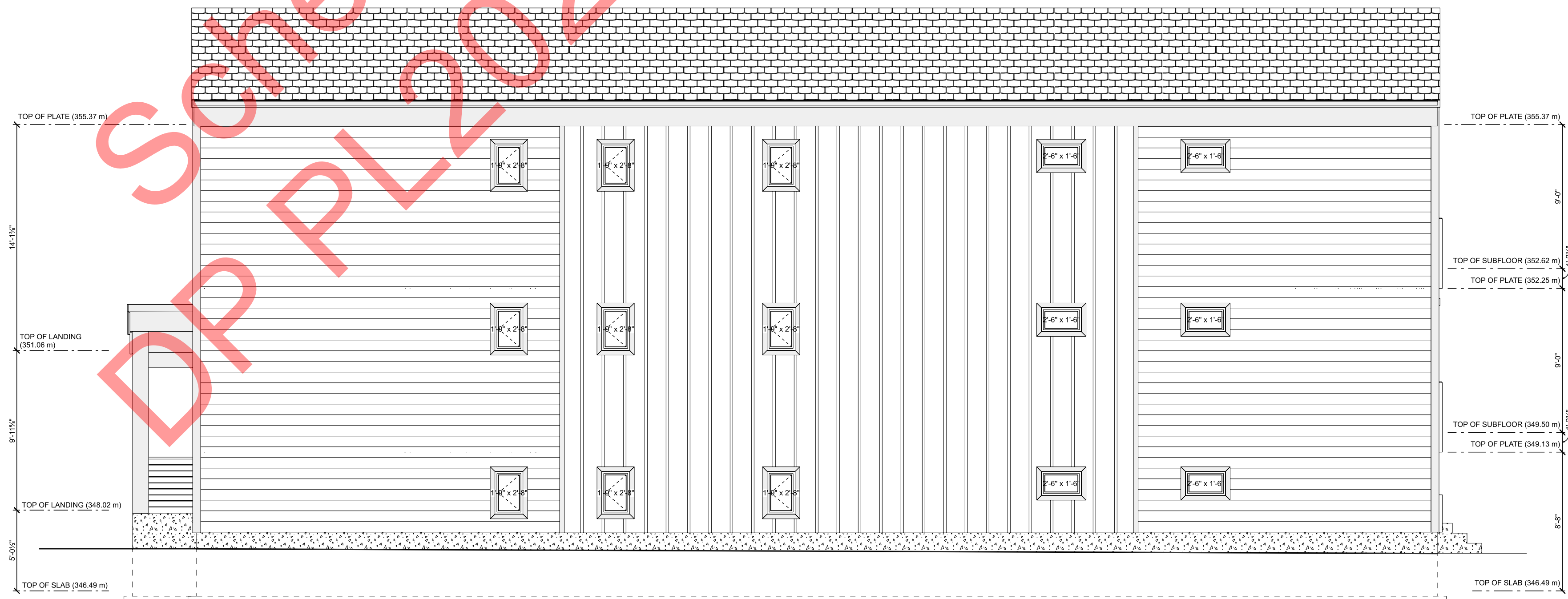
NORTH ELEVATION (FACING WADE AVENUE W.)  
SCALE: 3/16" = 1'-0"



WEST ELEVATION  
SCALE: 3/16" = 1'-0"



SOUTH ELEVATION (FACING LANE)  
SCALE: 3/16" = 1'-0"



EAST ELEVATION  
SCALE: 3/16" = 1'-0"

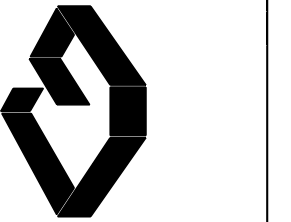
Scheduled 'A'  
 DP PL 2024-9725

CARY SCHNEIDERAT  
468 WADE AVE W.  
PENTICTON, BC

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one and only one building. The purchaser of multiple sets of these drawings  
does not entitle the buyer with license to construct more than one dwelling unit.

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site conditions, these drawings may not be suitable or legal for use in the  
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PLAN NO.  
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SLAB  
SHEET NO.  
**A4**

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Exterior Elevations



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION (FACING LANE)**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

Schedule 'A'  
DP PL 2024-9725

CARY SCHNEIDERAT  
468 WADE AVE W.  
PENTICTON, BC  
DESIGN BY: AIG DATE: 2024-03-18  
DRAWN BY: AIG REVISED:

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PLAN NO.  
**WP-5806**  
SLAB  
SHEET NO.  
**A5**

## Development Variance Permit

Permit Number: DVP PL2024-9752

Owner Name  
Owner Address

### Conditions of Permit

1. This permit is issued subject to compliance with all of the bylaws of the City, except as specifically varied or supplemented by this Permit.
2. This permit applies to:
  - Legal: Lot 6 Block C District Lot 4 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 853
  - Civic: 468 Wade Avenue West
  - PID: 012-022-624
3. This permit has been issued in accordance with Section 498 of the *Local Government Act*, to vary the following sections of Zoning Bylaw 2023-08 to allow for the construction of a three-storey apartment, as shown in the plans attached in Schedule 'A':
  - a. Section 10.6.2.6: reduce the front yard from 4.5 m to 3.0 m.

### General Conditions

4. In accordance with Section 501 of the *Local Government Act*, the lands subject to this permit shall be developed in general accordance with this permit and the plans attached as Schedule 'A'.
5. In accordance with Section 504 of the *Local Government Act*, if the holder of this permit does not commence the development authorized by this permit within 2 years of the date of this permit, this permit shall lapse.
6. **This permit is not a building permit. In order to proceed with this development, the holder of this permit must hold a valid building permit issued by the Building Inspection Department.**
7. This permit does not constitute any other municipal, provincial or federal approval. The holder of this permit is responsible to obtain any additional municipal, federal, or provincial approvals prior to commencing the development authorized by this permit.
8. This permit does not include off-site infrastructure costs that may be required at the building permit stage, such as Development Cost Charges (DCC's), road improvements and electrical servicing. There may be substantial infrastructure and servicing costs payable at a later date. For more information on servicing and infrastructure requirements please contact the Development Engineering Department at (250) 490-2501. For more information on electrical servicing costs, please contact the Electric Utility at (250) 490-2535.

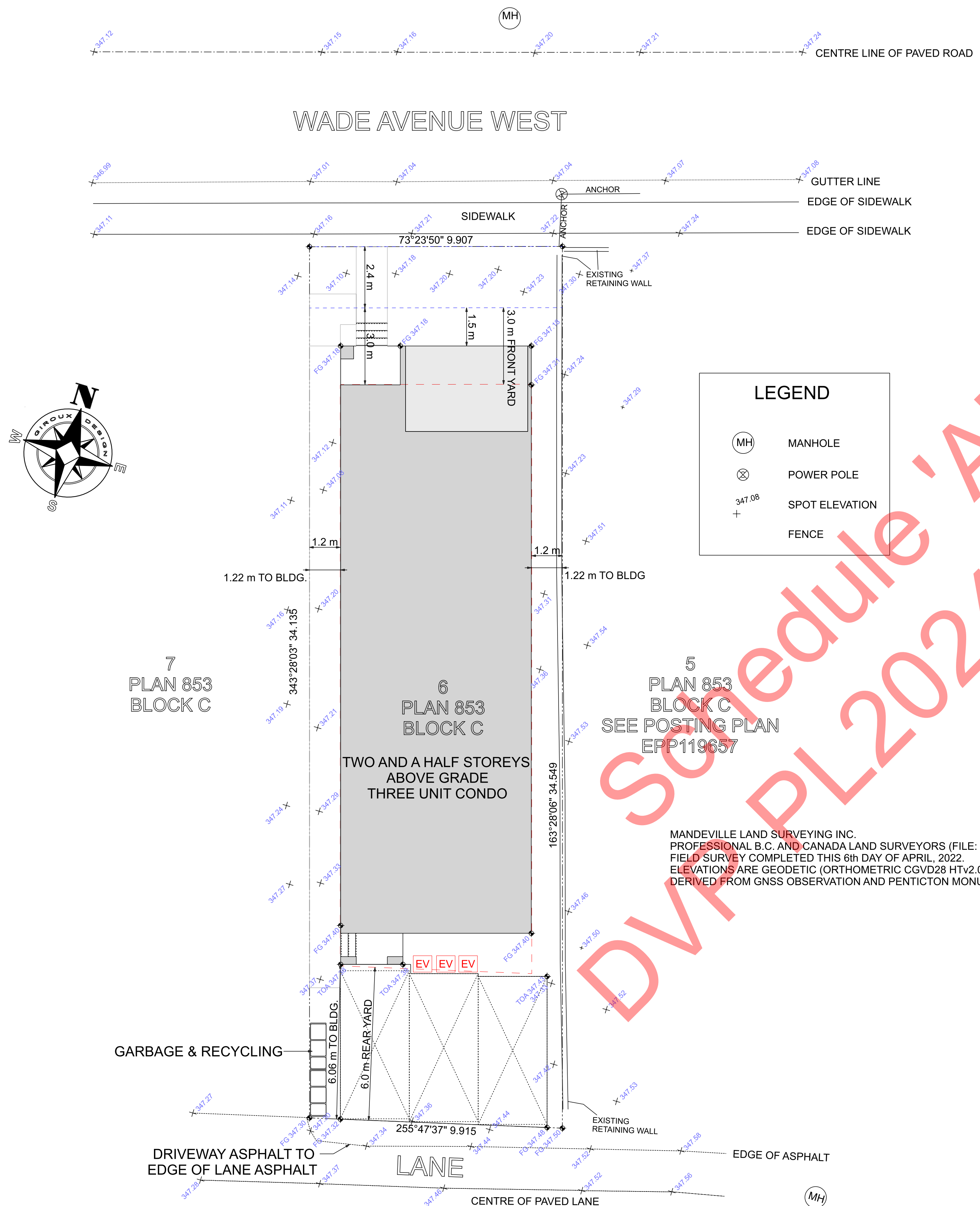
Authorized by City Council, the 16th day of April, 2024.

Issued this \_\_\_\_ day of April, 2024.

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Angela Collison  
Corporate Officer

DRAFT



ZONING COMPLIANCE TABLE (PROPOSED ZONING RD3)			
REGULATION	REQUIRED/CURRENT	PROPOSED/PROVIDED	VARIANCE REQUIRED
OCP DESIGNATION	URBAN RESIDENTIAL	TBD	NO
ZONING	RD2	RD3	YES
MINIMUM LOT WIDTH (SUBDIVISION ONLY)	10.5	9.9 m	N/A
LOT AREA (SUBDIVISION ONLY)	275 m <sup>2</sup>	340.23 m <sup>2</sup>	N/A
MAXIMUM LOT COVERAGE	55% (187.13 m <sup>2</sup> )	49% (168 m <sup>2</sup> )	NO
MAXIMUM DENSITY	1.0 FAR	1.2 FAR (420.6 m <sup>2</sup> )	YES
MAXIMUM HEIGHT	10.5 m	10.4 m	NO
MINIMUM FRONT YARD (NORTH)	4.5 m	3.0 m	YES
MINIMUM INTERIOR SIDE YARD (EAST, WEST)	1.2 m	1.2 m	NO
MINIMUM EXTERIOR SIDE YARD	3.0 m	3.0 m	NO
MINIMUM REAR YARD (SOUTH)	6.0 m	6.0 m	NO
PARKING SPACES (1 PER UNIT)	3	3	NO

IN THE CASE OF THE RD3 ZONE, A CARRIAGE HOUSE IS PERMITTED ON THE SAME LOT AS A PRINCIPAL DWELLING WITH A SECONDARY SUITE OR A DUPLEX BUILDING FOR A MAXIMUM OF THREE (3) DWELLINGS ON A LOT. IN THE CASE OF DUPLEX DEVELOPMENT, WHERE A REAR LANE IS PROVIDED, VEHICULAR ACCESS MUST BE FROM THE REAR LANE. IN CASES WHERE A DWELLING UNIT FACES THE BACK OF THE LOT, A CLEAR, UNOBSTRUCTED AND MAINTAINED ACCESS FROM THE FRONT OF THE PROPERTY TO THE BACK UNIT AT LEAST 1.2 M IN WIDE, MUST BE PROVIDED.

**LEGEND**

- (MH) MANHOLE
- ⊗ POWER POLE
- 347.08 SPOT ELEVATION
- + FENCE

**ELECTRIC VEHICLE READY REQUIREMENTS  
IN ACCORDANCE WITH ZONING BYLAW NO. 2023-08**

TO ENSURE NEW HOMES ARE BUILT WITH READY ACCESS TO A POWER SUPPLY CAPABLE OF PROVIDING LEVEL 2 EV CHARGING, THE FOLLOWING REQUIREMENTS MUST BE MET:

- MINIMUM NUMBER OF ENERGIZED OUTLETS FOR LEVEL 2 CHARGING: 1 PER DWELLING UNIT.
- CONSTRUCTION REQUIREMENTS THAT INCLUDE: ELECTRICAL PANEL CAPACITY, WIRING, AND CONTINUOUS CONDUIT OR RACEWAY (AS APPLICABLE) FROM THE PANEL, TERMINATING AT AN ENERGIZED OUTLET NEAR THE DESIGNATED EV PARKING SPACE(S). ADDITIONAL ELECTRICAL AND EV CHARGING INFRASTRUCTURE IS REQUIRED TO ENERGIZE THE CIRCUIT AND TO SUPPLY POWER TO FUTURE LEVEL 2 EVSE AND EVEMS (IF APPLICABLE).
- A POINT CONNECTED TO A SOURCE OF VOLTAGE IN AN ELECTRICAL WIRING INSTALLATION AT WHICH CURRENT IS TAKEN AND CAN BE CONNECTED TO SUPPLY UTILIZATION EQUIPMENT. AN OUTLET INCLUDES A COVERED TERMINATION BOX, NEMA 14-50R RECEPTACLE, OR NEMA 6-50R RECEPTACLE. ADDITIONAL TERMINATION MEANS MAY BE APPROVED BY THE CITY OF PENTICTON ELECTRIC UTILITY MANAGER.
- ELECTRIC VEHICLE CHARGING AT 208 V OR 240 V THROUGH SUPPLY UTILIZATION EQUIPMENT THAT MEETS THE DEFINITION OF LEVEL 2 BY THE STANDARD "SAE ELECTRIC VEHICLE AND PLUG IN HYBRID ELECTRIC VEHICLE CONDUCTIVE CHARGE COUPLER", J1772.

**SITE PLAN**  
 SCALE: 1:100  
 CIVIC ADDRESS: 468 WADE AVENUE WEST, PENTICTON, BC  
 LEGAL DESCRIPTION: SITE PLAN SHOWING CERTAIN FEATURES ON LOT 6, Bk C, DL 4, Gp 7, SDYD, PLAN 853  
 PID: 012-022-624  
 LOT AREA: 340.23 m<sup>2</sup> (3662 sq.ft.)

CARY SCHNEIDERAT  
 468 WADE AVE W.  
 PENTICTON, BC  
 DESIGN BY: AIG  
 DRAWN BY: AIG  
 DATE: 2024-03-18  
 REVISED:

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 web: www.girouxdesigngroup.com

PLAN NO.  
**WP-5806**  
 SLAB  
 SHEET NO.  
**A1**

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Site Plan & Zoning Compliance Table



The Corporation of the City of Penticton

Bylaw No. 2024-16

A Bylaw to Amend Zoning Bylaw 2023-08

WHEREAS the Council of the City of Penticton has adopted a Zoning Bylaw pursuant the *Local Government Act*;

AND WHEREAS the Council of the City of Penticton wishes to amend Zoning Bylaw No. 2023-08;

NOW THEREFORE BE IT RESOLVED that the Municipal Council of the City of Penticton, in open meeting assembled, hereby ENACTS AS FOLLOWS:

1. **Title:**

This bylaw may be cited for all purposes as "Zoning Amendment Bylaw No. 2024-16".

2. **Amendment:**

Zoning Bylaw No. 2023-08 is hereby amended as follows:

- 2.1 Rezone Lot 6 Block C District Lot 4 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 853, located at 468 Wade Avenue West, from RD2 (Duplex Housing: Lane) to RD3 (Residential Infill) as shown in Schedule 'A'.
- 2.2 Add Section 10.6.4.3: "In the case of Lot 6 Block C District Lot 4 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 853, located at 468 Wade Avenue West, an apartment shall be permitted."
- 2.3 Add Section 10.6.4.4: "In the case of Lot 6 Block C District Lot 4 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 853, located at 468 Wade Avenue West, the maximum density shall be 1.2 FAR."
- 2.4 Schedule 'A' attached hereto forms part of this bylaw.

READ A FIRST time this	day of	, 2024
A PUBLIC HEARING was held this	day of	, 2024
READ A SECOND time this	day of	, 2024
READ A THIRD time this	day of	, 2024
RECEIVED the approval of the Ministry of Transportation on the	day of	, 2024
ADOPTED this	day of	, 2024

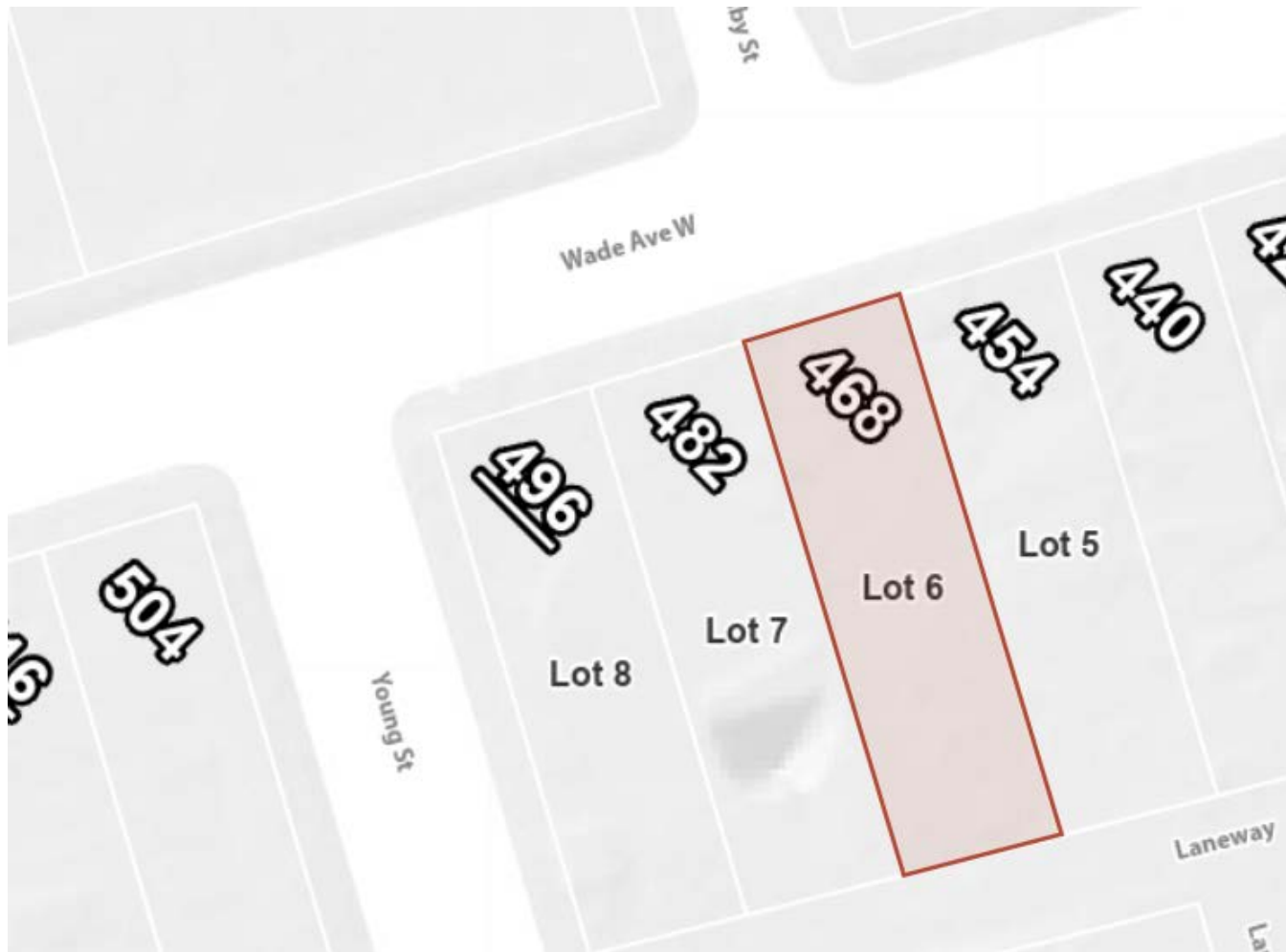
Notice of intention to proceed with this bylaw was published on the 5<sup>th</sup> day of April, 2024 and the 12<sup>th</sup> day of April, 2024 in an online news source and the newspaper, pursuant to Section 94.2 of the *Community Charter*.

Approved pursuant to section 52(3)(a) of the *Transportation Act*  
this \_\_\_\_\_ day of \_\_\_\_\_, 2024

\_\_\_\_\_  
for Minister of Transportation & Infrastructure

\_\_\_\_\_  
Julius Bloomfield, Mayor

\_\_\_\_\_  
Angie Collison, Corporate Officer



City of Penticton – Schedule 'A'

Zoning Amendment Bylaw No. 2024-16

Date: \_\_\_\_\_

Corporate Officer: \_\_\_\_\_